



DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
450 110th Ave NE
BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Ryan Gilbert, Sambica

LOCATION OF PROPOSAL: 4114 West Lake Sammamish Parkway SE

DESCRIPTION OF PROPOSAL: Threshold determination for Master Development Plan improvements to the Sambica Activity Center, including constructing a 6,000 SF Activities Building and street frontage improvements on the north side of West Lake Sammamish Parkway in Phase 1 and constructing a new residential dwelling (2,400 SF) for Sambica staff in Phase 2.

FILE NUMBERS: 19-106707-LP and 19-106708-LD **PLANNER:** Peter Rosen

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- ☐ There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- ☒ This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **6/25/2020**
- ☐ This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5:00 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Elizabeth Stead
Environmental Coordinator

6/11/2020
Date

OTHERS TO RECEIVE THIS DOCUMENT:

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**City of Bellevue
Development Services Department
Land Use Division**

Proposal Name: **Sambica Activity Center**

Proposal Address: 4114 West Lake Sammamish Parkway SE

Proposal Description: Master Development Plan and Design Review approval for improvements to the Sambica Activity Center. Phase 1 includes constructing a new Activities Building (6,000 SF) to replace the existing Tabernacle Building (5,000 SF) and street frontage improvements on the north side of West Lake Sammamish Parkway. Phase 1 is expected to be completed in the next 5 years. Phase 2 includes constructing a new residential dwelling for Sambica staff, approximately 1,200 SF on the main level and 1,200 SF basement.

File Number: 19-106707-LP and 19-106708-LD

Planner: Peter Rosen, Senior Environmental Planner

Applicant: Ryan Gilbert, Sambica

Decisions Included: Master Development Plan and Design Review Approvals (Process II - LUC 20.30V, LUC 20.30.F)

State Environmental Policy Act Threshold Determination: Determination of Nonsignificance
Elizabeth Stead
Elizabeth Stead, Environmental Coordinator
Development Services Department

Director's Decision: **Approval with Conditions**
Michael Brennan, Director
Development Services Department

By: *Elizabeth Stead*
Elizabeth Stead, Land Use Director

Application Date:	February 25, 2019
Public Notice :	March 28, 2019
Minimum Comment Period:	April 11, 2019
Public Meeting:	November 20, 2019
Notice of Decision:	June 11, 2020
Appeal Deadline:	June 25, 2020

For information on how to appeal a proposal, visit the Development Services Permit Center at City Hall or call (425) 452-6864. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

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- A. Master Development Plans (MDP)
- B. Activities Building Elevations
- C. Preliminary Binding Site Plan

I. PROPOSAL/PHASING, BACKGROUND & REVIEW PROCESS

A. Proposal/Phasing

The applicant has submitted applications for concurrent review and approval of a Master Development Plan (MDP) and Design Review for improvements to the Sambica Activity Center.

The Sambica Activity Center property is 7.62-acres and the entire site is included in the MDP application. The proposed MDP improvements are limited to the campus on the north side of West Lake Sammamish Parkway SE.

Phase 1 includes constructing a new Activities Building (6,000 SF) to replace the existing Tabernacle Building (5,000 SF). Phase 1 is expected to be completed in the next 5 years. The current Design Review application only includes the Phase 1 new Activities Building.

Phase 2 includes constructing a new residential dwelling for Sambica staff, approximately 1,200 SF on the main level and a 1,200 SF basement. A future Design Review permit will be required for the Phase 2 construction.

The proposal includes striping the existing sports court to the west of the new Activities Building to provide 13 parking stalls and 2 accessible stalls. There is a total of 48 parking spaces on the north side of West Lake Sammamish Parkway SE. There is also an existing parking area with 83-85 spaces on the south side of West Lake Sammamish Parkway SE adjacent to the existing dining hall.

The proposal includes street frontage improvements along the north side of West Lake Sammamish Parkway SE and the addition of a new controlled pedestrian crosswalk across West Lake Sammamish Parkway SE to provide an ADA accessible route for campers and the public between the north and south campus.

The proposal will also improve the street frontage landscaping on the north side of West Lake Sammamish Parkway SE and adds landscaping around both the new Activities Building in Phase 1, and the new residential dwelling in Phase 1. Other portions of the site perimeter will also be landscaped to provide additional screening from adjacent residential uses.

The Sambica Activity Center is comprised of multiple, separate parcels. The MDP application includes a preliminary binding site plan to consolidate the multiple parcels into 3 separate parcels.

The overall design intent of the proposal is to create and maintain open space and vistas, to enhance the park-like feel of the campus, and to create a safe and attractive environment that compliments the neighborhood.

Figure 1 below shows the entire Sambica Activity Center property included in the Master Development Plan (MDP). Figure 2 shows a detail of the proposed improvements on the north campus area included in the MDP application.

Figure 1 – Sambica Activity Center – Total MDP Site Area

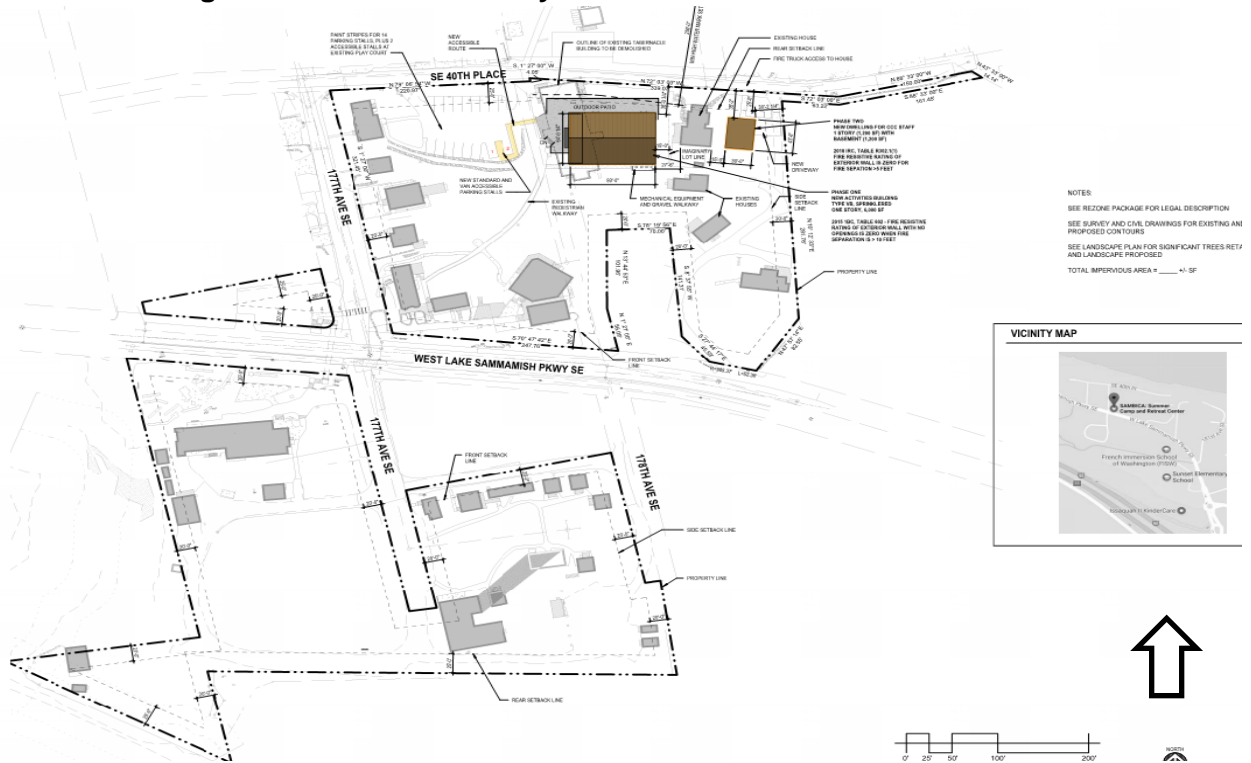
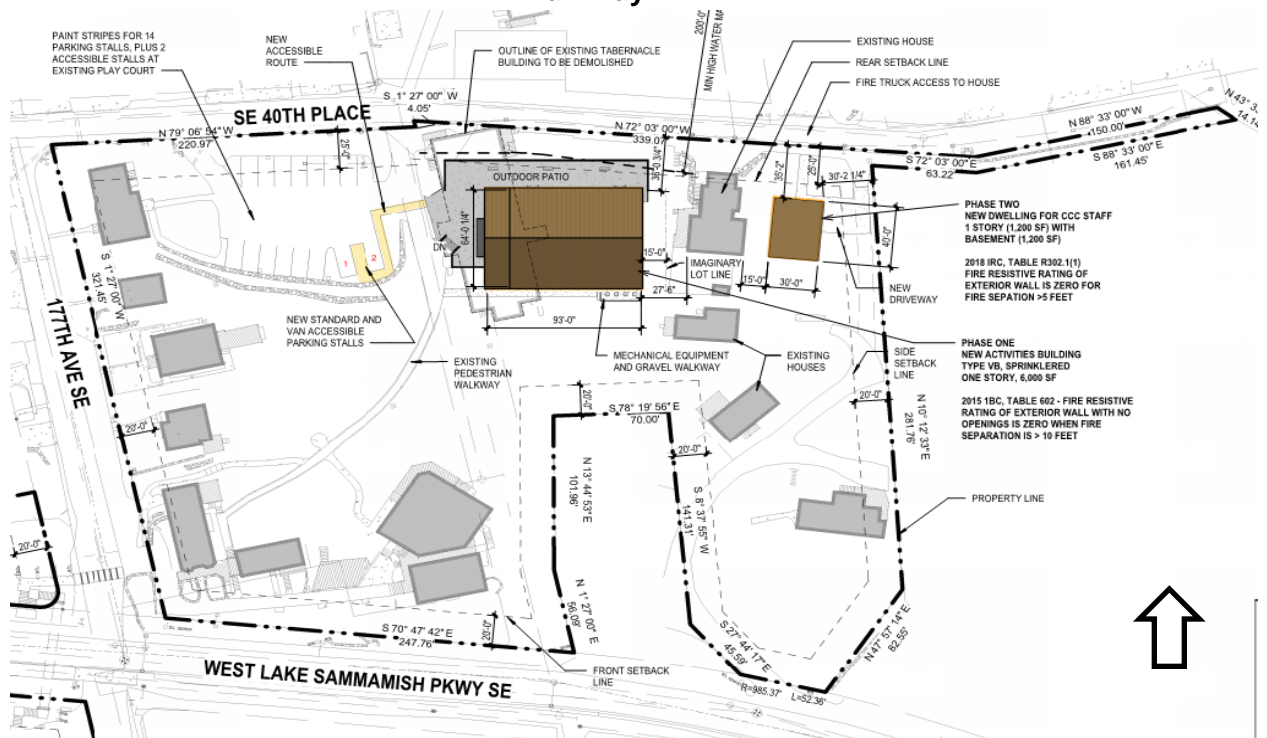


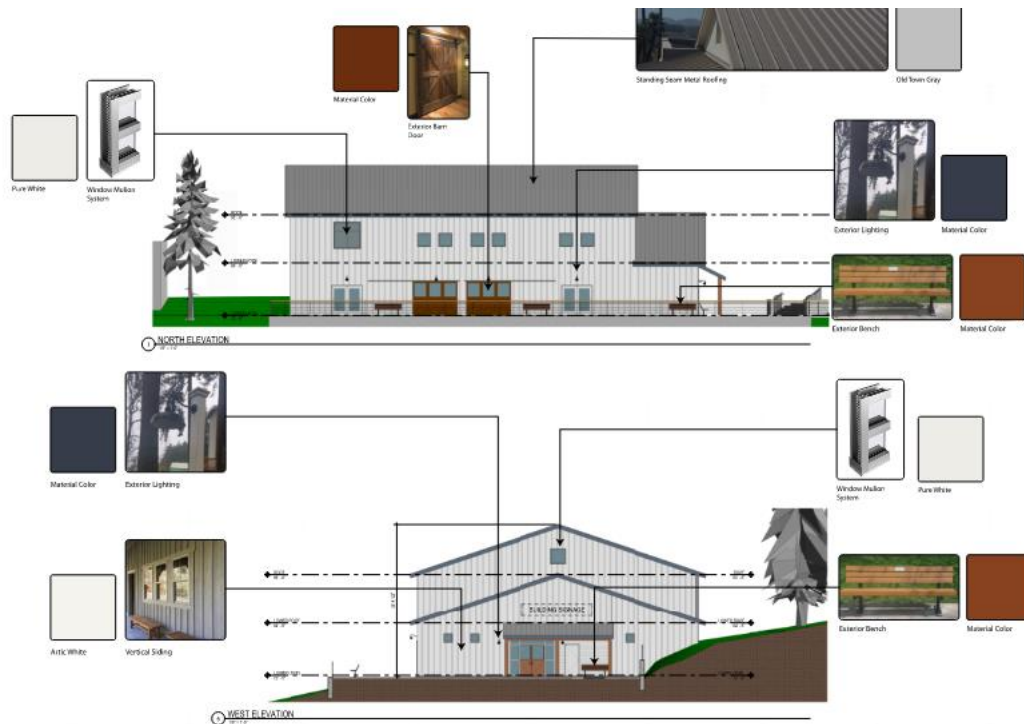
Figure 2 – Sambica Activity Center –MDP Area North of West Lake Sammamish Parkway



Activities Building

Phase 1 includes constructing a new Activities Building (6,000 SF) to replace the existing Tabernacle Building (5,000 SF). The current Design Review application only includes the Phase 1 new Activities Building. Exterior building elevations showing the proposed building design, building materials, colors and details are included as Attachment B.

Figure 3 – Activities Building – Exterior Building Elevations



The Building Permit application for the new Activities Building shall be consistent with the plans and elevations approved with this Design Review permit. **Refer to Section XII.A for Condition of Approval regarding Project Plans.**

B. Background

The Comprehensive Plan and Land Use Code have been previously amended to support a master site planning process for the Sambica Activity Center; to allow for improvements and for the future development of the Sambica Activity Center as a summer camp and retreat center while also maintaining compatibility with the surrounding neighborhood.

A Comprehensive Plan Amendment was approved by the City Council on February 17, 2009 (Ordinance No. 5859), changing the Comprehensive Plan land use designation to Camp and Conference Center (CCC).

The Bellevue Land Use Code was amended to create a new Camp and Conference Center (CCC) zoning designation, approved by the City Council on November 3, 2014 (Ordinance 6190).

The Sambica Activity Center was rezoned to the new Camp and Conference Center (CCC) zoning designation, approved by the City Council on September 16, 2019 (Ordinance 6476).

C. Review Process

The applicant has requested a consolidated review of its Master Development Plan (MDP) and Design Review application.

Master Development Plan - The Master Development Plan (MDP) process is a mechanism by which the City can ensure that site development including structure placement, vehicular and pedestrian mobility and necessary amenities are developed and phased to conform to the terms of the Land Use Code and other applicable City codes and standards.

The Land Use Code allows for an extended vesting period for an approved MDP, for a period up to 10 years (LUC 20.30V.190). The applicant has requested to vest the MDP for 10 years. **Refer to Section XII.A for Condition of Approval regarding Vested Status of Master Development Plan (MDP).**

Any modification to the approved MDP shall be documented either as a New Master Development Plan OR as a Land Use Exemption to the Master Development Plan, consistent with LUC 20.30V.160. **Refer to Section XII.A for Condition of Approval regarding Modification to the Master Development Plan (MDP).**

Design Review - The Design Review application is the City's mechanism to ensure site development and structures comply with the MDP and LUC regulations regarding structure design and compatibility with surrounding uses. It also ensures that building development is of high design quality.

The current Design Review application pertains only to the Phase 1 new Activities Building. Any modification to this Design Review approval for Phase 1 construction shall be processed as either a Land Use Exemption or a new Design Review application, consistent with LUC 20.30F.175. **Refer to Section XII.A for Condition of Approval regarding Modification to the Design Review Plans.**

A separate Design Review permit will be required in the future for the Phase 2 construction of the new dwelling. **Refer to Section XII.A for Condition of Approval regarding Design Review Permit Required for Phase 2 Development.**

The MDP and Design Review approvals are both Process II Administrative Decisions, pursuant to LUC 20.35.200, appealable to the hearing examiner.

II. SITE DESCRIPTION, ZONING AND LAND USE CONTEXT

A. Site Description

The Sambica Activity Center is a summer camp and retreat center. The 7.62 acre site contains 33 buildings/structures scattered within wooded and open areas. The site is divided by West Lake Sammamish Parkway SE, which runs east/west through the center of the camp. A pedestrian bridge over West Lake Sammamish Parkway SE connects the campus.

The facilities in the upper camp on the south side of Lake Sammamish Parkway SE includes lodging, a dining hall, mini-golf course and playfield. The lower camp on the north side of Lake Sammamish Parkway SE contains the office, activities building, basketball court, indoor amphitheater, housing and access to the lake. See Figure 4 below for existing improvements/facilities on the Sambica Activity Center site.

A separately-owned parcel adjacent to Lake Sammamish provides beach access to the Sambica Activity Center. The parcel is owned by the Strandvik Association and Sambica owns voting shares in the Association. The beach access parcel is jointly used for water-based recreational activities as well as Sambica camp and conference center activities. The Strandvik Association did not join the application for the Comprehensive Plan Amendment and the waterfront parcel is not included in the proposed MDP.

Figure 4 – Sambica Activity Center – Existing Facilities



Vehicular access to the project area will be provided via the two existing private driveways off of the north side of West Lake Sammamish Parkway. Two private roads, 177th Avenue SE and SE 40th Place, provide access from West Lake Sammamish Parkway to the Sambica parking area. The parking area will be used for fire access and turnaround.

There is currently no sidewalk and a 5-foot-wide asphalt shoulder along the north side of West Lake Sammamish Parkway frontage. Phase 1 street frontage improvements include adding an 8-foot-wide sidewalk along the north side of West Lake Sammamish Parkway project frontage in order to provide public pedestrian access to the site.

A 10-foot-wide multipurpose path exists on the south side of West Lake Sammamish Parkway along the south campus frontage. No frontage improvements are proposed or required.

A pedestrian bridge over West Lake Sammamish Parkway currently provides campers access between the two sides of the camp. The bridge uses stairs for access and does not meet ADA accessibility requirements. A new controlled pedestrian crosswalk will be provided across West Lake Sammamish Parkway for an ADA accessible route for campers and the public between the north and south campus, with the Phase 1 improvements.

B. Comprehensive Plan, Zoning and Surrounding Land Uses

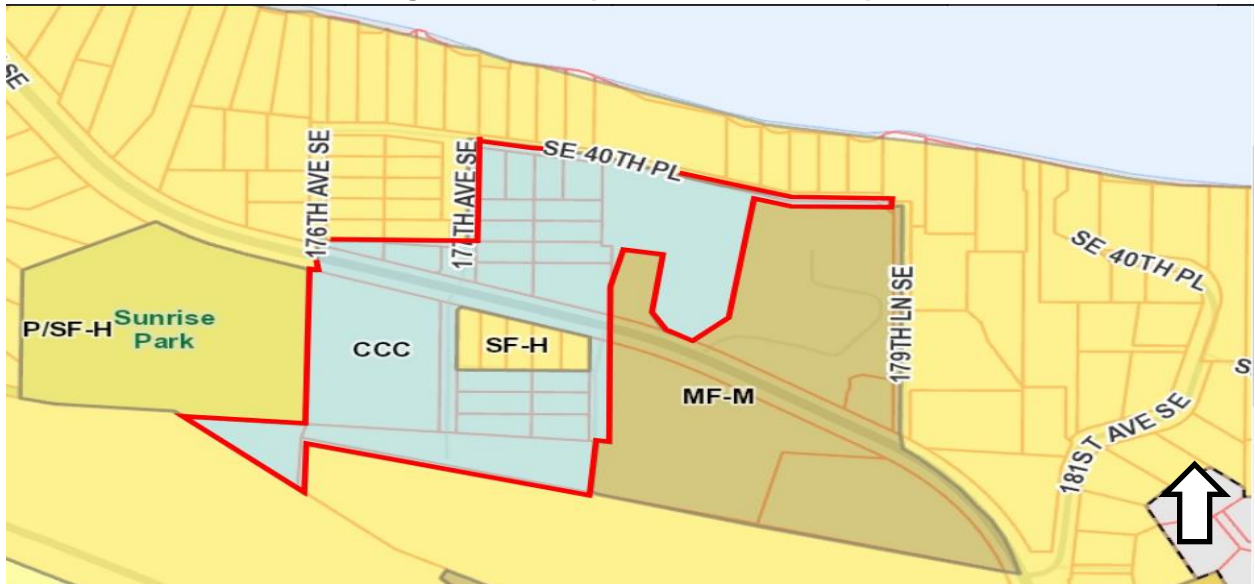
The Sambica Activity Center is presently comprised of multiple, separate parcels and totals 7.62 acres. The MDP application includes a preliminary binding site plan to consolidate the multiple parcels into 3 separate parcels.

The entire Sambica Activity Center site has a Comprehensive Plan and Zoning designation of *Camp and Conference Center (CCC)*. The purpose of the CCC zone is:

The purpose of the designation is to maintain the compatibility of this unique mix of uses with surrounding neighborhoods by limiting the overall intensity of the site, and protect lower intensity uses from the effects of higher intensity uses. (Ord. 6190, 11-3-14, § 4)

A Camp and Conference Center (CCC) provides areas for a unified mix of group day or residence camps and professional, educational, or religious meetings, conferences, seminars, and retreats and their associated facilities and activities. These are used primarily by organizations and schools and the families and individuals they enroll.

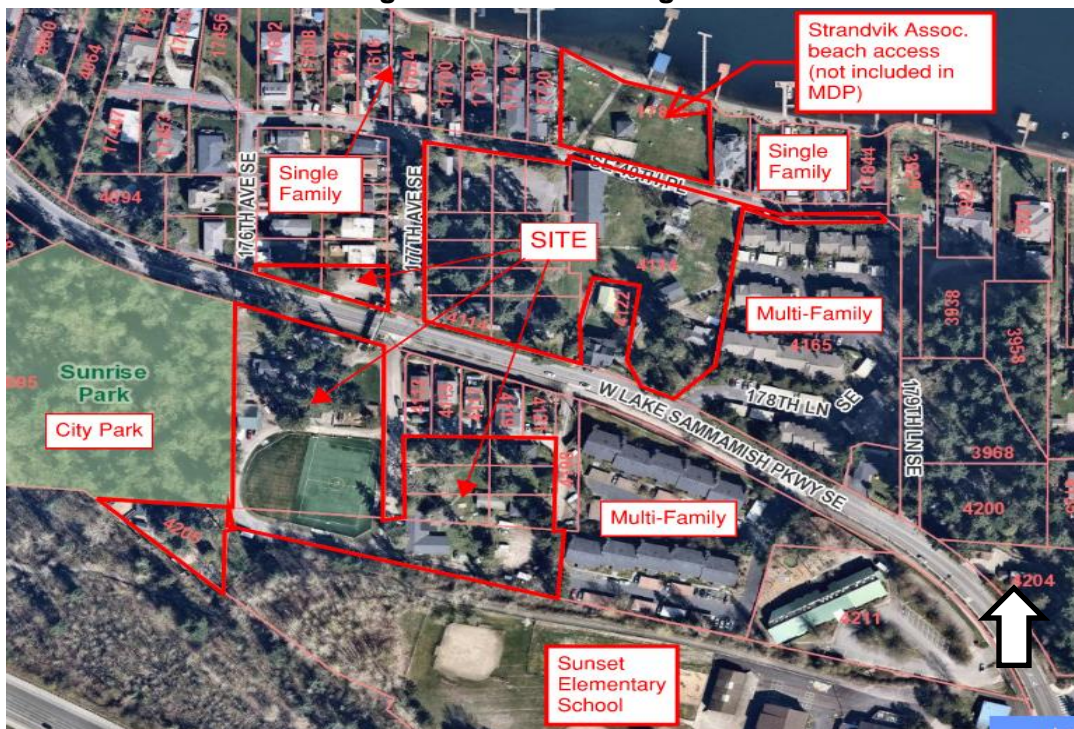
Figure 5 – Comprehensive Plan Map



Surrounding zoning and land uses are:

- North: R-5 – Single family residential, Strandvik Association beach access parcel (not included in rezone application)
- South: R-5 – Sunset Elementary School
- West: R-5 – Sunrise Park (City park), Single family residential
- East: R-20 - Multi-family Development

Figure 6 – Surrounding Land Uses



III. CONSISTENCY WITH LAND USE CODE / ZONING REQUIREMENTS

A. Part 20.25N Camp and Conference Center District

20.25N.020 – Master Development Plan Review required.

A. Review Required.

A Master Development Plan (MDP) Review under Part 20.30V LUC is the means by which the City shall ensure that site development in a CCC district is consistent with the Comprehensive Plan and the provisions of this part and meets all applicable site development standards and guidelines of the LUC. The applicant shall record the approved MDP with King County in accordance with LUC 20.30V.180 after CCC zoning is established for the site encompassed in the MDP. Per LUC 20.30V.140 the applicant may, but is not required to, request that the MDP constitute a Binding Site Plan pursuant to Chapter 58.17 RCW.

Finding: The applicant has submitted a Master Development Plan (MDP) application (19-106707-LP) and the proposed site development is consistent with provisions of the CCC zone and the Comprehensive Plan. The applicant has also requested that the MDP constitute a Binding Site Plan and has submitted a preliminary binding site plan to consolidate the existing multiple parcels in the MDP site area into 3 separate parcels.

The approved Master Development Plan (MDP) and a Final Binding Site Plan are required to be recorded with King County. **Refer to Section XII.A for Condition of Approval regarding Recording of the MDP and Binding Site Plan.**

B. Standards and Requirements.

All development within a single CCC site shall be governed by MDPs reviewed by the Director pursuant to Part 20.30V LUC.

Finding: The applicant has submitted a Master Development Plan permit consistent with the requirements of this code section. The MDP depicts existing conditions on the site and proposed continued uses and structures, the location/placement of new, proposed structures and facilities, a list of proposed principal and subordinate uses and their locations, phasing of site development, and conformance with the dimensional requirements in LUC 20.25N.050.

20.25N.030 – Design Review required.

Design Review pursuant to Part 20.30F LUC shall be required for any proposed development in a CCC District, except for freestanding structures proposed for religious activities which will be reviewed through the Conditional Use Review process. Modifications or additions to an approved Design Review in a CCC District shall be governed by LUC 20.30F.175. The dimensional requirements, other development standards, and design guidelines of this part shall be ensured through the Design Review process. (Ord. 6190, 11-3-14, § 1)

Finding: The applicant has submitted a Design Review permit application (19-106708-LD) for the Phase 1 new Activities Building consistent with the requirements of this code section. The

dimensional requirements, development standards and design guidelines of the CCC zoning district will be reviewed through the Design Review process.

20.25N.040 – Uses in the CCC District

Finding: The buildings and uses proposed in the MDP are consistent with the Permitted and Subordinate uses listed in this code section.

Phase 1 improvements include demolishing the existing Tabernacle Building and constructing a new 6,000 SF Activities Building. The use of the building will remain the same; camp programming, sports, activities, and team building. Structures for recreation facilities are allowed as a primary Permitted Use in this code section. Phase 2 includes constructing a new residential dwelling for Sambica staff. Dwelling units for staff are allowed as a Subordinate use.

20.25N.050 – Dimensional requirements.

Minimum <u>Setback</u> (1)			Maximum <u>Impervious Surface</u> (6)	Maximum <u>Lot Coverage</u> (6)	<u>Building Height</u> (2) (3) (4)
Front (5)	Rear	Side			
20'	25'	20'	65%	40%	30'

Findings:

The proposed improvements meet the dimensional requirements of the CCC zone as follows:

Minimum Setbacks – Structure setbacks are measured from the exterior boundaries of the entire MDP area (Note 1). The proposed Activities Building would be setback approximately 36 feet from the north boundary of the MDP area adjacent to SE 40th PI. The proposed new dwelling would be setback approximately 35 feet from the north boundary of the MDP area adjacent to SE 40th PI and 30 feet from the east boundary of the MDP area.

Maximum Impervious Surface – The maximum impervious surface standard is based on the total site area contained in the MDP (Note 6). The proposed improvements would result in 22% impervious surface coverage in the MDP site area, which meets the maximum allowed standard of 65%.

Maximum Lot Coverage – The maximum lot coverage standard is based on the total site area contained in the MDP (Note 6). The proposed new structures would result in 13.4% lot coverage by structures in the MDP site area, which meets the maximum allowed standard of 40%.

Building Height – The maximum building height is 30 feet to the highest point of a flat roof or 35 feet to the ridge of a pitched roof as measured from the average elevation of the existing

grade around the building (Note 2). The proposed building height of the new Activities Building is 31'-10" to the ridge of the pitched roof and 27'-1" for the new Dwelling Unit. The calculation for the average elevation of the existing grade and building elevations showing compliance with the building height standard are included on Sheet A3.03 and will be confirmed during the building permit stage of review.

20.25N.060 – Landscape requirements.

Perimeter (H)	Landscaping Requirement (H) (H) (H)
Street Frontage	10' wide Type III landscaping
Interior Property Lines	10' wide Type III landscaping

Findings: The proposed landscaping meets the landscape requirements of the CCC zone as follows:

Street frontage – The proposal includes 10-foot wide Type III landscaping along the north side of West Lake Sammamish Parkway SE. The street frontage landscaping and the proposed MDP improvements are limited to the north side of West Lake Sammamish Parkway SE and will be constructed in Phase 1. The landscape plan (Sheet L1.02) proposes *Magnolia Stellata* as the street tree to the east of 177th Ave SE. The City's street tree palette along this portion of West Lake Sammamish Parkway SE includes *Cornus kousa x nuttallii* 'Starlight' and the landscape plan should be revised for this street tree specie to maintain consistency. **Refer to Section XII.B for Condition of Approval regarding Street Trees and Right-of-Way Landscaping**

Street trees are not proposed to the west of 177th Ave SE because of existing conifer trees directly behind the landscape frontage. Existing vegetation may be used to satisfy the landscape requirements (Note 4).

Interior Property Lines – The landscape requirement (10' wide, Type III landscaping) applies to the exterior boundaries of the entire MDP area (Note 1). The proposal includes new landscaping along the north MPD boundary adjacent to SE 40th PI to screen the Activities Building, the improved parking area adjacent to the Activities Building, and to the north of the new Dwelling Unit, see Sheets L1.01 and L1.03.

Along the east MDP boundary, the applicant proposes an Alternative Landscape Option (ALO) to modify the landscape requirement (Alternative Landscape Option, CPH Consultants, March 6, 2020). The proposal includes a row of *Pyramidalis Arborvitae* extending a 60-foot length in the northeast corner of the MDP site area (See Sheet L1.03). The planting would be in front of an existing 6-foot high sight-obscuring fence and eventually would provide a solid screen 12-15 feet in height. There is only a narrow space available for planting between the fence and an existing driveway in this area.

The applicant justifies the modification stating that the purpose and intent of the landscape buffer would be better achieved by retaining the existing significant trees and other mature

vegetation along the east property boundary and that leaving the majority of the boundary undisturbed would have an equal or better result than installing the 10-foot wide landscaping. The applicant's Alternative Landscape Option (ALO) includes the following justification:

- 1) A 6' high sight-obscuring fence already exists along the entire site boundary (east boundary of the MDP area).
- 2) Most of the boundary is already vegetated with trees, shrubs and groundcover that meets or exceeds the Type III buffer standard, including several significant trees.
- 3) The SE corner of the Sambica property falls abruptly away from the street and there is a wall on the adjacent property to the east. This is also an area with several significant trees at the bottom of the slope which almost completely block the view into the site from the street and adjacent properties.
- 4) The property to the east of the MDP is zoned R-20 and is occupied by an apartment development. The Sambica site is less densely developed, affording the apartment complex views of mature trees, open space and the water beyond.

Findings: The proposed modification meets the criteria for an Alternative Landscape Option in LUC 20.20.520.J. The proposed modification is consistent with the stated purpose of the landscape standard, to provide a landscape screen around the perimeter of the site. The proposed modification would allow for the retention of existing natural vegetation and significant trees along the east MDP boundary, promoting the natural vegetated character of the site and neighborhood.

The final Landscape Plan shall be submitted and reviewed as part of the Clearing and Grading Permit application for review by Land Use. **Refer to Section XII.B for Condition of Approval regarding Final Landscape Plan.**

20.25N.070 – Other development standards.

A. Signage

Findings: The MDP and Design Review permit applications do not include any new signs or modifications to existing signage. The existing sign adjacent to the site entry would be removed for the site frontage improvements on West Lake Sammamish Parkway and then reset to the finished grade. New and/or modified signage must meet the requirements of BCC 22.B.10.040. **Refer to Section XII.E for Condition of Approval regarding Signage and Individual Sign Permits**

B. Trip Generation Measurement

Findings: The Sambica Activities Building project proposes 4,128 net new square feet of summer camp space. This development will generate 0 net new p.m. peak hour trips and, therefore, will not trigger concurrency requirements. The reconstruction of the Activities building will not add overall student capacity to the summer camp. The results of the project trip generation are documented in a memorandum by Jake Traffic Engineering, dated February 26, 2020, and included in the Transportation department file for this development.

C. Parking

Parking shall be required through unspecified use parking analysis established by the Director through LUC 20.20.590.F.2. Such analysis shall individually identify the maximum number of parking stalls required for uses which are identified and permitted in the MDP. Shared use provisions may be considered.

A Traffic Study (Sambica Activities Building Replacement Traffic Letter Update, February 26, 2020) included a parking analysis. The proposal would improve a parking area adjacent to the new Activities Building where there is currently a sports court. This parking area will contain 13 parking stalls plus 2 accessible stalls. The site will have a total of 48 parking stalls on the campus area north of West Lake Sammamish Parkway with the improved parking lot, most of the other parking spaces are in the gravel lot by the main office and footbridge. There are also 83-85 additional parking spaces on the south side of the road, and a shuttle can be provided as needed, especially for people with limited mobility.

To determine parking demand, the Traffic Study referenced the Institute of Transportation Engineers Parking Generation 5th Edition. The parking rate per Attendee of a Church is 0.48, and this rate would correlate to a parking demand for 48 parking stalls.

Findings: Parking on the site is adequate to serve the activities and operations of the Sambica Activity Center. The Traffic Study determined a parking demand for 48 parking stalls. There are 48 parking stalls on the campus to the north of West Lake Sammamish Parkway and 83-85 parking spaces on the south campus area. Sambica operations include a shuttle that during high demand periods could transport users from the large parking area on the south side of West Lake Sammamish Parkway to the new Activities Building or to the shoreline area.

A parking area adjacent to the new Activities Building would be improved where there is currently a sports court. This parking area will contain 13 parking stalls plus 2 accessible stalls. All parking stalls shall be striped and operable prior to Temporary Certificate of Occupancy. **Refer to Section XII.D for Condition of Approval regarding Parking Lot Striping.**

D. Noise

Uses in the CCC District are subject to the City of Bellevue Noise Control Code (Chapter 9.18 BCC). For the purpose of noise control, the CCC District shall be treated as a Residential Land Use District: Class A EDNA pursuant to BCC 9.18.025. (Ord. 6190, 11-3-14, § 1)

Findings: Construction noise impacts would be limited by the allowed hours for construction in City code. Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done at least one week in advance with submittal of a construction noise expanded exempt hours permit. **Refer to Section XII.A for Condition of Approval regarding Construction Noise Hours.**

B. Part 20.30V Master Development Plan

20.30V.130 – Phasing Plan.

A phasing plan for installation of site improvements, landscaping and amenities necessary to support each phase of development must be approved as part of the Master Development Plan. The phasing plan is not intended to prescribe a timeline or sequence for development, but shall provide for proportionate installation of amenities that must be included when each phase of development is constructed. Required amenities and improvements shall be included. (Ord. 5727, 3-19-07, § 2)

Finding: The applicant has proposed a phasing plan. Phase 1 includes construction of the new Activities Building and the street frontage improvements on the north side of West Lake Sammamish Parkway. Phase 2 includes construction of the new dwelling for staff.

20.30V.140 – Binding Site Plan.

B. Survey and Recording Required.

If a Master Development Plan is approved as a Binding Site Plan, the applicant shall provide a recorded survey depicting all lot lines and shall record that Binding Site Plan and survey with the King County Department of Records and Elections. No document may be recorded without the signature of each owner of the subject property.

Finding: The applicant has submitted a preliminary binding site plan to consolidate the existing multiple parcels in the MDP site area into 3 separate parcels.

A Land Use permit application for a Final Binding Site Plan is required to be submitted and approved to consolidate the existing multiple parcels in the MDP. After approval of the Final Binding Site Plan, it shall be recorded with King County, together with the approved MDP.

Refer to Section XII.A for Condition of Approval regarding Final Binding Site Plan.

20.30V.180 – Recording Required.

Following approval of a Master Development Plan and any subsequent modifications thereto, the applicant shall record the plans and conditions that constitute the approval with the King County Division of Records and Elections or its successor agency. Components of the approval required to be recorded include but are not limited to the applicable conditions of approval, total amount (square footage) of floor area earned through an FAR amenity incentive system, or floor area earned through special dedication of right-of-way, parks, or open space. A copy of the recorded document shall be provided to the city for inclusion in the project file. (Ord. 5876, 5-18-09, § 32; Ord. 5727, 3-19-07, § 2)

Finding: The approved Master Development Plan (MDP) and Final Binding Site Plan shall be recorded with King County and a copy of the recorded document shall be provided to the city.

Refer to Section XII.A for Condition of Approval regarding Recording of the MDP and Binding Site Plan.

20.30V.190 - Extended vesting period for Master Development Plans and associated Design Review approval.

To the extent not precluded by other sections of this code, an applicant for a Master Development Plan may request a modification to the vesting and expiration provisions of LUC 20.40.500, allowing for vesting of the land use permits and approvals for a period of up to 10 years from the date of issuance of the Master Development Plan.

B. The Director may approve an increased vesting period; provided, that the project complies with an approved phasing plan pursuant to LUC 20.30V.130. The Director shall consider: (1) the site and size, (2) the size, scope and complexity of the project, and (3) construction and permitting activity in the vicinity of the project in determining the appropriate vesting period. The vested status of other required review, including but not limited to SEPA, Traffic Standards Code, Transportation Development Code, and building or other technical code review, is not controlled by this section.

Finding: The applicant has requested to allow a 10-year vesting period for the MDP. The Activities Building and street frontage improvements on the north side of West Lake Sammamish Parkway would be constructed under Phase 1. Phase 2 includes only the new residential dwelling for Sambica staff, (approximately 1,200 SF on the main level and 1,200 SF basement) and the timing of construction is uncertain at this time. Due to the small size and low complexity of the proposed residence, the Director approves the requested 10 year vesting for the MDP. **Refer to Section XII.A for Condition of Approval regarding Vested Status of Master Development Plan (MDP).**

IV. DESIGN GUIDELINES AND DESIGN STANDARDS

The current Design Review application (19-106708-LD) only includes the Phase 1 new Activities Building. The exterior building elevations showing the proposed building design, building materials, colors and details are shown in Figure 3 above and included as Attachment B.

The Building Permit application for the new Activities Building shall be consistent with the plans and elevations approved with this Design Review permit.

20.25N.080 – Design guidelines

A. General Guidelines.

Each structure and all proposed site development must comply with the approved MDP. If an application for Design Review (when required) contains elements inconsistent with the approved MDP, the Director may not approve the Design Review until the required MDP is amended to include those elements.

Findings: The MDP and Design Review applications include consistent elements for the proposed site development, and the proposed uses and structures comply with the allowed uses and dimensional requirements of the CCC zone.

B. Site Design Guidelines.

1. Develop site improvements and amenities consistent with the phasing approved in an MDP.

Findings: The proposed site improvements and amenities are consistent with the phasing proposed in the MDP. Street frontage improvements on the north side of West Lake Sammamish Parkway and a controlled pedestrian crosswalk are included for the Phase 1 site improvements consistent with the MDP.

2. Provide visual and functional connections between uses within the CCC District by incorporating areas of vegetation, outdoor spaces and pedestrian connections.

Findings - The outdoor patio around the new Activities Building, marked by surrounding landscaping, will be a key functional outdoor space and linked to other CCC functions by an existing pedestrian walkway.

3. Consider surrounding vegetation, topography, street patterns, parking configuration and building massing in order to result in a compatible fit between proposed development and adjacent non-CCC residential development.

Findings: The new Activities Building is located in the middle of the site and is not adjacent to surrounding non-CCC residential development. The Activities Building is positioned on the site to maintain the existing trees and take advantage of the sloped topography, reducing the building mass by tucking the building into the hill. The existing parking/play court is reused for the building parking.

4. The largest CCC buildings with the largest bulk (size, height) shall be located to minimize impacts on adjacent residential uses. See Footnote (4)(d) under LUC 20.25N.050.

Findings - The new Activities Building, replacing an existing 5,000 square foot building, is the largest proposed building; 6,000 SF and 31'-10" in height to the ridge of the pitched roof. The bulk, size and height of the building is generally compatible with adjacent residential uses. The new Activities Building is in the same general location of the building it replaces, is located in the middle of the site and is not adjacent to residential uses, and it is situated at the lowest part of the sloped site away from the residential areas to the east and west.

replacing an existing 5,000 square foot building, is the

5. Maximize the retention of existing significant (see LUC 20.50.046 – Significant Tree) vegetation to soften visual impacts on adjacent residential areas.

Findings: No significant trees are planned to be removed for the construction of the new Activities Building. Some trees would need to be removed for the required street frontage improvements.

The proposal would enhance perimeter landscape buffers to the north of the new Activities Building and parking area adjacent to SE 40th Place, which would have the result of softening the visual impacts from adjacent streets and residential uses.

6. *Design vehicular access to the site so that traffic is not directed through an abutting residential district.*

Findings: The proposal maintains existing vehicular access and circulation to the site and does not propose new streets, driveways, or vehicular access.

7. *Minimize the visual impact of parking facilities by integrating parking facility structures and lots into the site, and by providing landscape screening where surface parking is located adjacent to residential uses or within setback areas.*

Findings: The existing play court to the west of the new Activities Building would be improved as a surface parking lot. The landscape plan includes a 10-foot wide landscape buffer to screen the surface parking area.

8. *Locate vehicle drop-off areas in close proximity to building entries.*

Findings: The parking area adjacent to the new Activities Building includes a drop-off (load/unload) to the west of the accessible parking stall.

9. *Consider the following in designing outdoor spaces interior to the site:*

a. *Orientation. Orient to sunlight to the maximum extent feasible.*

Findings: The new Activities Building is oriented with the long façade facing south and has 8 punched windows oriented for sunlight.

b. *Provide good physical and visual access from the interior space to sidewalks and walkways, so that the space is perceived as an extension of the sidewalk or walkway.*

Findings: The new Activities Building includes north facing swing doors and barn doors with glass vision panels which open out to a concrete patio. West facing main entrance doors have glass vision panels in door with storefront glazing on either side. These doors open out to a concrete patio before transitioning to an asphalt walkway.

c. *Ensure ready physical as well as visual access to the interior space, with special attention to elevation differences.*

Findings: The main physical entry or access into the interior space of the new Activities Building is on the west building elevation and visual access to the entrance can be seen from the lower part of the site, as one approaches from SE 40th Place to the patio. It can also be seen from the existing pedestrian walkway coming down from upper camp and from the surface parking to the west.

10. Innovative techniques for impervious surface may be considered per LUC 20.20.460.G.

Findings: No innovative techniques for impervious surfaces are proposed. With the proposed improvements, the impervious surface area would be 22% of the MDP site, and the dimensional requirements allow for 65% maximum impervious surface area.

C. Building Design Guidelines – All Uses.

1. Materials, finishes, and details should be complementary to each other and be consistent with the design intent of the MDP;

Findings: The materials, finishes and details for the new Activities Building are complementary to each other and consistent with the design intent of the MDP. The materials and details are residential in character and consistent with surrounding residential uses.

2. Locate service areas for trash dumpsters, loading docks and mechanical equipment away from public rights-of-way and residentially zoned property where possible. Screen views of those elements if they cannot be located away from public frontages;

Findings: Sambica utilizes carts/vehicles to transport trash to their existing on-site trash facility. Prior to the issuance of any construction permit, the applicant shall provide a written document demonstrating that Republic Services (City's waste hauler service) has been contacted and has approved the proposed access to the recycling and solid waste collection areas for this development. Service areas for trash dumpsters and equipment shall be adequately screened so these elements are not visible from public frontages or adjacent residences. **Refer to Section XII.C for Condition of Approval regarding Solid Waste/Recycling Collection Facilities**

3. Incorporate weather protection and pedestrian amenities for transit facilities; and

Findings: Not applicable.

4. Design rooftop mechanical equipment to be architecturally integrated with a building.

Findings: Mechanical equipment is planned to be placed on grade. The mechanical equipment shall be screened from public view. **Refer to Section XII.C for Condition of Approval regarding Mechanical Screening.**

D. Building Design Guidelines – Retail/Service/Commercial Uses.

In addition to the building design guidelines in subsection C of this section, buildings intended to house retail, service, or commercial uses shall comply with the following design guidelines:

Findings: Not applicable. The proposal does not include retail, service or commercial uses.

V. PUBLIC NOTICE AND COMMENT

Application Date:	February 25, 2019
Application Completeness Date:	March 5, 2019
Notice of Application published:	March 28, 2019
Public Notice Sign installed:	March 28, 2019
Minimum Comment Period ended:	April 11, 2019
Public Notice for Public Meeting:	November 14, 2019
Public Meeting:	November 20, 2019

The Notice of Application for the Master Development Plan (MDP) and Design Review permit applications for the Sambica Activity Center was published in the City of Bellevue weekly permit bulletin on March 28, 2019. It was mailed to property owners within 500 feet of the project site. Public notice signs were installed along the site frontage, on both sides of West Lake Sammamish Parkway. No public comments were received.

A public meeting for the Design Review permit was held on November 20, 2019. No members of the public attended. One written comment was received from a neighbor:

"We have watched the exciting growth of the children's program at Samba and strongly support the building permits presented today."

VI. TECHNICAL REVIEW

A. Clearing & Grading Department

The Clear and Grade reviewer has reviewed the plans and materials submitted for this project and has determined that the clearing and grading portion of these land use applications can be approved. The future Clearing and Grading Permit application for this development must comply with the City of Bellevue Clearing and Grading Code (BCC 23.76). **Refer to Section XII.B for Condition of Approval regarding Clearing & Grading Permit Required**

B. Fire Department

The Bellevue Fire Department Fire Prevention Division has reviewed the submittal in accordance with the 2015 International Fire Code, 2015 International Building Code, City of Bellevue requirements, and good fire protection practices. This review was based upon, and limited to, the information presented on drawings and/or materials received in our office. The Fire Department has approved the application, subject to the conditions of approval in Section XII of this report. **Refer to Section XII.C for Condition of Approval regarding Fire Review Conditions.**

C. Building Review

The plans submitted for Design Review approval have not been sufficiently developed for a thorough review under the 2015 IBC (International Building Code), including amendments made by the State of Washington and the City of Bellevue. Complete review

will occur under the Building permit application(s) in accordance with the codes in effect at the time of complete application. **Refer to Section XII.A for Condition of Approval regarding required Building Permit.**

C. Utilities Department

The development proposed for this application has been reviewed on a conceptual basis and can be feasibly constructed under current Utility codes and standards without requesting modifications or deviations from them. Major changes to the design or information submitted under this permit may cause delay in approval of future construction permits. It is the applicant's responsibility to verify the accuracy all field information and data gathered for the utility design and feasibility of this project.

Storm Drainage

This project will be reviewed under the 2019 Utilities Engineering Standards.

The site is located within the South Sammamish Drainage Basin. The project drains to Lake Sammamish via a manmade conveyance system with three separate storm drainage outfall pipes. The project is new development as there is less than 35% existing impervious surface. Minimum Requirements MR #1-9 apply.

MR #5 On-site Stormwater Management. The project flows to flow control exempt waters. The applicant chose to implement the feasible listed BMPs in Figure 1.6, the Flow Chart for Determining LID Requirements for Minimum Requirement (MR) #5 on page 7 of the SDR. The building roof drains and area drains will need to connect to the upsized existing storm drainage conveyance in SE 40th Place.

MR #6 Runoff Treatment. The northern on-site sub-basin totals 4,175 sf of new plus replaced PGHS, below the 5,000 sf threshold. The off-site sub-basin West Lake Sammamish Parkway SE frontage improvements will result in a total 2,087 sf of new plus replaced PGHS, below the 5,000 sf threshold. No water quality treatment is required in either sub-basin.

MR #7 Flow Control. The project drains to flow control exempt waters Lake Sammamish via a manmade conveyance system with three separate storm drainage outfall pipes. Therefore, no flow control facilities are required.

Water

The water supply for this project is provided from the City of Bellevue SA 270 pressure zone water mains located in West Lake Sammamish Parkway SE, 177th Ave SE, and SE 40th Place. The project proposes to install two (2) new full water services. New water services applications will be required for each new water service. These are obtained through the online UC permit application process. There is a private water well and piping serving the camp complex. **Each new water services shall be required to provide an approved backflow prevention assembly.** Any un-used water services shall be removed back to the water main, per COB water service abandonment requirements. Note

all existing water meter sizes and meter numbers on the plans. Note on the plans whether each existing water service will be re-used or abandoned.

Sewer

The project proposes to construct two new side sewer stubs; one to the New Activities Building and one to the New House. The applicant shall request a cut and cap inspection of each existing side sewer stub **prior to demolition** of each existing building. Each stub shall be evaluated for re-use at the time of the cut and cap inspection by the City of Bellevue Wastewater Senior Engineering Technician (SET). New side sewer connection applications will be required. These are obtained through the online UA permit application process. Any un-used sewer services shall be removed back to the sewer main, per COB sewer service abandonment requirements.

The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. **Refer to Section XII.A for Condition of Approval regarding Utility Permits.**

D. Transportation Department.

Site Access and Loading

The project site is located on the north side of West Lake Sammamish Parkway, between 177th Avenue SE and 179th Place SE. The Sambica summer camp has facilities on the north and south sides of West Lake Sammamish Parkway. A pedestrian bridge over West Lake Sammamish Parkway provides campers access between the two sides of the camp. The bridge uses stairs for access and does not meet ADA accessibility requirements. West Lake Sammamish Parkway is a two-lane road classified as a minor arterial. The site is bordered by single family homes to the west and north, and multi-family buildings to the east. The existing site contains multiple existing buildings for the Sambica summer camp operations. This development will replace the Activities Building on the north half of the site. There is currently no sidewalk and a 5-foot-wide asphalt shoulder along the project frontage on the north side of West Lake Sammamish Parkway, and a 10-foot-wide multipurpose path on the south side.

Vehicular access to the proposed project will be provided via the two existing private driveways off of the north side of West Lake Sammamish Parkway. Two private roads, 177th Avenue SE and SE 40th Place, provide access from West Lake Sammamish Parkway to the Sambica parking area. The parking area will be used for fire access and turnaround. The two private road approaches to West Lake Sammamish Parkway must be reconstructed to meet current city standards.

Pedestrian access to the site will be provided via a new 8-foot-wide public sidewalk along the West Lake Sammamish Parkway frontage. Current camp operations require campers to be dropped off on the southern site and walk across the pedestrian bridge to access the Activities building and other facilities on the north half of the site. Persons crossing between the north and south parcels that cannot navigate the stairs must cross the street without a crosswalk. A new RRFB controlled pedestrian crosswalk will be required across

West Lake Sammamish Parkway to provide an ADA accessible route for campers and the public between the north and south campus.

Loading, drop-off/pick-up, and garbage pickup will take place on site in the designated loading areas. Truck turning movement exhibits were submitted for review demonstrating that a fire truck can maneuver through the site turnaround facility. All loading and unloading, delivery, garbage and recycling services must be contained within the project site. No portion of the city right of way may be used for these services. **Refer to Section XII.A for Condition of Approval regarding Provisions for Loading.**

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act, the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual.

Frontage improvements required by the developer include:

West Lake Sammamish Parkway

- a. Install a minimum 8-foot-wide sidewalk with new curb and gutter along the frontage on the north side of West Lake Sammamish Parkway.
- b. Install two private driveway approaches per standard drawing RC-170-1.
- c. Install an RRFB controlled pedestrian crosswalk across West Lake Sammamish Parkway meeting Bellevue standards.
- d. Street lighting is required to meet City of Bellevue standards.
- e. Any utility lids in the sidewalk are required to be fitted with a non-skid lid.

Other Required Standards

1. A combined street tree and streetlight plan is required for review and approval prior to completion of engineering and landscape plans. The goal is to provide the optimum number of street trees while not compromising the light and safety provided by streetlights. Street trees and streetlights must be shown on the same plan sheet with the proper separation (generally 25 feet apart) and the proper spacing from driveways (ten feet from Point A in standard drawing SW-140-1 or equivalent).
2. The Americans with Disabilities Act (ADA) requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements. Building elevations shall be consistent with the required curb and sidewalk elevations. Spot

elevations must be included in the building plans in a manner that proves that building elevations are designed to correspond to the sidewalk elevations shown in the engineering plans, especially at entrances and other key points. Curb and sidewalk elevations will not be revised to fit the building, and city inspectors may require spot surveys during construction in order to confirm the required elevations.

ADA also requires provision of a safe travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway. Any planter boxes installed in the sidewalk to improve pedestrian sight distance at driveways must be designed to reduce the tripping potential and must not extend more than two feet into the public sidewalk. Traffic signal controller boxes and streetlight contactor cabinets must be located so as not to interfere with the main pedestrian path. Buildings shall be designed so that doors do not swing out into the pedestrian path. Installation of colored or textured bands to guide pedestrians in the direction of travel is advisable, subject to the requirements for non-standard sidewalk features. ADA-compliant curb ramps shall be installed where needed, consistent with City and WSDOT standard drawings. If such standards cannot be met, then deviation from standards must be justified on a Design Justification Form to be filed with the Transportation Department.

3. To the extent feasible, no new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk. To the extent feasible, no utility vaults may be located within the primary walking path in any sidewalk.
4. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawing SW-170-1 or equivalent. Fixed objects are defined as anything with breakaway characteristics greater than a four-inch by four-inch wooden post.
5. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines must be relocated underground.

Refer to Section XII.B for Condition of Approval regarding Civil Engineering Plans – Transportation; Section XII.C for Condition of Approval regarding Building and Site Plans – Transportation; Section XII.D for Condition of approval regarding Street Frontage Improvements.

Easements

The applicant shall provide sidewalk and utility easements to the City as needed to encompass the full required width of any sidewalks and crosswalk signal equipment located outside the city right of way fronting this site.

Refer to Section XII.C for Conditions of Approval regarding Existing Easements, Easements for Pedestrian Signal Equipment, and Sidewalk/Utility Easements.

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit.

Refer to Section XII.B for Conditions of Approval regarding Right-of-way Permit.

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching.

Near the development site, West Lake Sammamish Parkway is classified as Grind and Overlay required. Should street cuts prove unavoidable or if the street surface is damaged in the construction process, a half-street or full-street (depending on the extent of street cuts or damage) grind and overlay will be required for a minimum of 50 feet.

Refer to Section XII.D for Conditions of Approval regarding Pavement Restoration.

VII. STATE ENVIRONMENTAL POLICY ACT

General

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. The Environmental Checklist together with information submitted (in the official file) adequately discloses expected environmental impacts associated with the proposed Master Development Plan and Design Review approvals. The City codes and requirements, including SEPA, Land Use Code, Noise Ordinance, Building Code and other construction codes will adequately mitigate expected environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements.

Adverse impacts which are less than significant are typically subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse

impacts which are less than significant, Bellevue City Code, Section 22.02.140, provides substantive authority to mitigate impacts disclosed through the environmental review process.

A. NOISE

As conditioned, short term impacts related to noise generation as a result of the construction will be minimized. Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday, except for Federal holidays and as further defined by the Bellevue City Code. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020.C.1 when necessary to accommodate construction which cannot be undertaken during exempt hours. Written requests for exemption from the Noise Control Code must be submitted two weeks prior to the scheduled onset of extended hour construction activity. The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses. **Refer to Section XII.A for Condition of Approval regarding Construction Noise Hours and Use of Noise Abatement Technology.**

B. LIGHT AND GLARE

There is the potential for light and glare impacts from exterior lighting fixtures. Exterior lighting fixtures shall incorporate cutoff shields or other appropriate measures to avoid light and glare spillover onto adjacent properties and rights-of-way. **Refer to Section XII.C for Condition of Approval regarding Shielded Lights.**

C. TRANSPORTATION

Long Term Impacts and Mitigation

The City has prepared a traffic forecasting model for the 2030 horizon year to assess cumulative impacts that may result from growth and development during that period. This modeling analysis is based on a projected land use scenario and improvements to the transportation system that would occur during this time period.

Under the level of service standard detailed in the Transportation Code, the City is divided into 14 Mobility Management Areas (MMAs), each with an area average standard and a congestion management standard. The traffic modeling shows that all of the MMAs would meet both standards. This project proposes to add a net increase 4,128 sf of summer camp space in MMA 9. This level of development is within the assumptions of the City's traffic modeling and does not require additional mitigation.

In addition, traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by Chapter 22.16 BCC, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term

traffic impacts. Fee payment is required at the time of building permit issuance. Impact fees are subject to change and the fee schedule in effect at the time of building permit issuance will apply. **Refer to Section XII.C for Condition of Approval regarding Transportation Impact Fee.**

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained.

The Sambica Activities Building project proposes 4,128 net new square feet of summer camp space. This development will generate 0 net new p.m. peak hour trips and, therefore, will not trigger concurrency requirements. The reconstruction of the Activities building will not add overall student capacity to the summer camp. The results of the project trip generation are documented in a memorandum by Jake Traffic Engineering, dated February 26, 2020, and included in the Transportation department file for this development.

Short Term Operational Impacts and Mitigation

City staff analyzed the short-term operational impacts of this proposal in order to recommend mitigation if necessary. No operational impacts were identified, however the pedestrian crossing of East Lake Sammamish Parkway does not meet accessibility requirements and the frontage does not have sidewalks. Mitigation will be completed in the form of improvements to the crossing and sidewalk improvements along West Lake Sammamish Parkway. **Refer to Section XII.D for Condition of Approval regarding Street Frontage Improvements.**

VIII. CHANGES TO PROPOSAL

Changes to the project as a result of the Master Development Plan and Design Review process included the following:

- The original MDP proposal was revised to eliminate several development elements. The original MDP proposal, which was included in the public Notice of Application, included Phase I constructing a new Activities Building (6,000 SF) to replace the existing Tabernacle Building (5,000 SF), constructing new staff housing (1,200 SF main level, 1,200 SF basement), and adding cabins and restrooms (2,800 SF) to the north side of the existing Forum Building. Phase 1 was expected to be completed in the next 5 years. Phase 2 included demolition of the existing Country Kitchen Building (850 SF) and constructing a new Country Kitchen with staff lodging (3,600 SF) and

constructing a 1,500 SF garage/workshop.

The proposal was revised to include campus improvements only on the north side of West Lake Sammamish Parkway SE. The revised MDP includes only the new Activities Building (6,000 SF) in Phase 1 and the new staff housing (1,200 SF main level, 1,200 SF basement) in Phase 2.

- The proposal was revised to add street frontage improvements on the north side of West Lake Sammamish Parkway SE.
- Landscaping was added around the Activities Building, the surface parking area adjacent to the Activities Building, and around the perimeter of the site to screen the development from surrounding residential uses.

IX. MASTER DEVELOPMENT PLAN DECISION CRITERIA

20.30V.150 – Decision Criteria

The Director may approve or approve with modifications an application for a Master Development Plan if:

A. The proposed Master Development Plan is consistent with the Comprehensive Plan; and

Findings: The proposed MDP is consistent with the Comprehensive Plan's General Elements and Newcastle Subarea Plan policies.

The proposal is located in the Newcastle Subarea and the Comprehensive Plan designation for the entire Sambica Activity Center property is Camp and Conference Center (CCC), which was adopted by the City Council on February 17, 2009 (Ordinance No. 5859). The Comprehensive Plan amendment included policy amendments to the Newcastle Subarea Plan to support a master site plan process and redevelopment of Sambica. The proposal is consistent with the following policies in the Newcastle Subarea Plan:

- *POLICY S-NC-10. Encourage a land use pattern throughout the Subarea which accommodates future growth, ensures efficient use of facilities and services, protects existing neighborhoods, encourages historic community uses to continue, and provides the opportunity for an adequate amount of retail and professional services to meet local needs.*
- *POLICY S-NC-10a. Support a master site planning process for redevelopment of the Sambica CCC-designated parcels. A master site plan will limit the overall intensity of the site to a predominantly non-commercial character consistent with the CCC designation and achieve an integrated site design with transition and performance standards that protect lower intensity uses from the effects of higher intensity uses. A master site plan should address standards of building height and location, landscape buffers, impervious surface ratios, combined trip generation, limited signage size, and parking.*

- *POLICY S-NC-10b. Encourage the use of development review tools for Sambica that distinguish the mix of land uses proposed for Sambica redevelopment to assure the predominant non-commercial character of the camp and conference center, provide predictability in development processes, and maintain compatibility with the surrounding neighborhood.*

B. The Master Development Plan complies with the applicable requirements of the Bellevue City Code; and

Findings: As evaluated and shown in Section III above, the proposed MDP complies with all applicable development requirements of the Bellevue City Code.

C. The proposed Master Development Plan addresses all applicable standards, guidelines or criteria of this Code in a manner which fulfills their purpose and intent; and

Findings: As evaluated and shown in Sections III, IV and VI of this report, the MDP addresses all applicable standards, guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

D. The Master Development Plan depicts features of and relationships and connectivity between required site features for the underlying Land Use District. (Ord. 5727, 3-19-07, § 2)

Findings: The MDP depicts features of and relationships and connectivity between required site features for the underlying Land Use District. The proposal includes street frontage improvements (new sidewalk, street trees, landscaping) on the north side of West Lake Sammamish Parkway consistent with the underlying Land Use District.

X. DESIGN REVIEW DECISION CRITERIA

The current Design Review application (19-106708-LD) only includes the Phase 1 new Activities Building.

20.30F.145 – Decision Criteria

The Director may approve or approve with modifications an application for Design Review if:

A. The proposal is consistent with the Comprehensive Plan; and

Findings: The proposal is consistent with the Comprehensive Plan's General Elements and the Newcastle Subarea Plan policies. The design of the proposed Activities Building is non-commercial in character to maintain compatibility with the surrounding residential neighborhood.

- *POLICY S-NC-10a. Support a master site planning process for redevelopment of the Sambica CCC-designated parcels. A master site plan will limit the overall intensity of the site to a predominantly non-commercial character consistent with the CCC designation and achieve an integrated site design with transition and performance standards that protect lower intensity uses from the effects of higher*

intensity uses. A master site plan should address standards of building height and location, landscape buffers, impervious surface ratios, combined trip generation, limited signage size, and parking.

- *POLICY S-NC-10b. Encourage the use of development review tools for Sambica that distinguish the mix of land uses proposed for Sambica redevelopment to assure the predominant non-commercial character of the camp and conference center, provide predictability in development processes, and maintain compatibility with the surrounding neighborhood.*

B. The proposal complies with the applicable requirements of this Code; and

Findings: As conditioned, the proposal complies with applicable requirements of the Land Use Code. Refer to Section III of this report for further information on compliance with the Land Use Code requirements.

Any modification to this Design Review approval shall be processed as either a Land Use Exemption or a new Design Review application. Any modification of the project design must be reviewed for consistency with the design intent. **Refer to Section XII.A for Condition of Approval regarding Modification to the Design Review Plans.**

C. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent; and

Findings: The proposal addresses all applicable design guidelines and standards of the CCC zone in a manner which fulfills their purpose and intent. Refer to Section IV of this report.

D. The proposal is compatible with and responds to the existing or intended character, appearance, quality of development and physical characteristics of the subject property and immediate vicinity; and

Findings: The proposal is compatible with and responds to the existing and intended character, appearance, quality of development and physical characteristics of the subject property and immediate vicinity.

The overall design intent maintains open spaces and vistas to enhance the park-like feel of the campus and to compliment the surrounding neighborhood.

The proposal would replace the existing Activities Building with a new building that is residential in scale and character. Surface parking has been minimized. Landscaping is applied to soften and buffer the proposed development.

E. The proposal will be served by adequate public facilities including streets, fire protection, and utilities; and

Findings: All required public services and facilities are available to the site.

F. The proposal is consistent with any required Master Development Plan approved pursuant to Part 20.30V LUC or other applicable code section. (Ord. 5876, 5-18-09, § 29; Ord. 4972, 3-3-97, § 16; Ord. 4816, 11-27-95, § 115)

Finding: The proposal is consistent with the required Master Development Plan.

XI. DECISION

After conducting the various administrative reviews associated with this proposal, including applicable land use consistency and City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE the Master Development Plan and Design Review applications for the Sambica Activity Center, including MDP extended vesting for a period of 10 years from the date of MDP approval, subject to the following conditions:**

XII. CONDITIONS OF APPROVAL

A copy of the Conditions of Approval shall be copied onto a plan sheet at the beginning of the building permit plan set. **Refer to Section XII.A for Conditions of Approval regarding Conditions of Approval.**

Compliance with City Codes and Documents

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances, including, but not limited to the following:

COMPLIANCE WITH BELLEVUE CITY CODES AND ORDINANCES

Each phase of the Master Development Plan must comply with all applicable Bellevue City Codes and Ordinances including but not limited to the following as required:

Land Use Code – BCC Title 20	Peter Rosen, 425-452-5210
Environmental Procedures Code – BCC Title 22.02	Peter Rosen, 425-452-5210
Noise Control – BCC 9.18	Peter Rosen, 425-452-5210
Sign Code – BCC Title 22	Peter Rosen, 425-452-5210
Transportation Code – BCC 14.60	Ian Nisbet, 425-452-4851
Transportation Development Review – BCC 22.16	Ian Nisbet, 425-452-4851
Utility Code – BCC Title 24	Chris Brookes, 425-452-6825
Clearing and Grading Code – BCC 23.76	Savina Uzunow, 425-452-7860
Construction Codes – BCC Title 23	Sheri Crawford, 452-2843
Uniform Fire Code – Bcc 23.11	Derek Landis, 425-452-4112

A. GENERAL CONDITIONS - THE FOLLOWING CONDITIONS APPLY TO ALL PHASES OF DEVELOPMENT.

LAND USE DIVISION CONDITIONS (GENERAL)

1. Project Plans

Construction permit application submittals shall be consistent with the approved project plans, included in the Attachments to this permit.

AUTHORITY: Bellevue City Code 20.35.230

REVIEWER: Peter Rosen, Land Use

2. Conditions of Approval

A copy of these conditions of approval shall be copied onto a plan sheet at the beginning of the plan set submitted for building permits.

AUTHORITY: Land Use Code 20.35.230

REVIEWER: Peter Rosen, Land Use

3. Design Review Permit Required for Phase 2 Development

A new, separate Design Review permit will be required for the future Phase 2 construction of the new dwelling.

AUTHORITY: Land Use Code 20.25N.030

REVIEWER: Peter Rosen, Land Use

4. Modification to the Design Review Plans

Any modification to this Design Review approval for Phase 1 construction shall be processed as either a Land Use Exemption or a new Design Review application. Any modification of the project design must be reviewed for consistency with the design intent. Conditions of Approval shall run for the life of the project.

AUTHORITY: LUC 20.30F.175

REVIEWER: Peter Rosen, Land Use

5. Modification to the Master Development Plan (MDP)

Any modification to this approval shall be documented either as a New Master Development Plan OR as a Land Use Exemption to the Master Development Plan in this approval. The applicant shall demonstrate compliance with the Land Use Code in effect at the time of issuance of this report if the modification occurs within 10 years from the date of this approval. Any modification of the MDP must be reviewed for consistency with the design intent as stated in this report. Conditions of Approval run for the life of the project. Any subsequent modifications, once approved by either of the processes stated above, shall be recorded with the King County Division Recorder's Office or its successor agency.

AUTHORITY: LUC 20.30V.160, 180 and 190
REVIEWER: Peter Rosen, Land Use

6. Vested Status of Master Development Plan (MDP)

The vested status of the MDP shall be for a period of 10 years from the date of this final decision, as defined in LUC 20.25.045. Approvals of any Design Review for this property will be vested to the Land Use Code in effect at the time of issuance of this report if the Design Review approval occurs within these 10 years.

While the MDP is vested to the Land Use Code regulations for a period of 10 years from the date of issuance of this decision, **this extended vesting does not extend to any other codes.**

AUTHORITY: LUC 20.25.045
REVIEWER: Peter Rosen, Land Use

7. Final Binding Site Plan

A Land Use permit application for a Final Binding Site Plan is required to be submitted and approved to consolidate the existing multiple parcels in the MDP. After approval of the Final Binding Site Plan, it shall be recorded with King County, together with the approved MDP.

AUTHORITY: LUC 20.30V.140
REVIEWER: Peter Rosen, Land Use

8. Recording of the MDP and Binding Site Plan

The approved Master Development Plan (MDP) shall be recorded with the King County Division of Records and Elections or its successor agency, consistent with LUC 20.30V.180. A Final Binding Site Plan shall be recorded for the parcel consolidation, consistent with LUC 20.30V.140. A copy of the recorded MDP and Final Binding Site Plan shall be submitted to the City for inclusion in the project file.

AUTHORITY: LUC 20.30V.180, LUC 20.30V.140
REVIEWER: Peter Rosen, Land Use

9. Construction Noise Hours

The proposal will be subject to normal construction hours of 7 a.m. to 6 p.m., Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020.C.1 when necessary to accommodate construction which cannot be undertaken during exempt hours. Written requests for exemption from the Noise

Control Code must be submitted two weeks prior to the scheduled onset of extended hour construction activity.

AUTHORITY: BCC 9.18.020.C & 9.18.040
REVIEWER: Peter Rosen, Land Use

10. Use of Noise Abatement Technology

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020F
REVIEWER: Peter Rosen, Land Use

UTILITIES REVIEW CONDITIONS (GENERAL)

11. Utility Permits

Utility Department approval of the design review application is based on the final conceptual design submitted with this application. Final utility design and construction approval is not given under this permit. Small changes to the site layout may be required to accommodate the utilities after utility engineering is approved. The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. Utilities Department design review, plan approval, and field inspection is performed under the Utilities Permit Processes. All connection charges will be due prior to issuance of the respective permits. Easements will be required as necessary for new publicly owned facilities, and easement modifications will be required for areas where public utilities and easements are no longer existing.

Utility Permits

All and any unused existing services must be abandoned back to the main.

UA permits will be required for each sanitary side sewer connection/modification.

UB permits will be required for each storm drainage connection/modification.

UC permits required for domestic and irrigation water services 2-inch and smaller.

AUTHORITY: BCC Title 24.02, 24.04, 24.06
REVIEWER: Chris Brookes, Utilities

BUILDING REVIEW CONDITIONS (GENERAL)

12. Building Permit

A Building Permit shall be submitted and approved prior to construction of the new Activities Building.

AUTHORITY: 2015 IRC
REVIEWER: Sheri Crawford, Building Division

TRANSPORTATION REVIEW CONDITIONS (GENERAL)

13. Provisions for Loading

The property owner shall provide an off-street loading space which can access a public street. This must include an off-street location for garbage pick-up, which must be acceptable to the garbage hauler. On-street loading and unloading will not be permitted.

AUTHORITY: LUC 20.20.590.K.4; BCC 14.60.180
REVIEWER: Ian Nisbet (425) 452-4851

- B. PRIOR TO CLEARING AND GRADING PERMIT: The following conditions are required by City Code. Unless specified otherwise below, these conditions must be complied with on plans submitted with the CLEAR AND GRADE permit application:**

CLEARING & GRADING REVIEW CONDITIONS (Prior to CG issuance)

14. Clearing & Grading Permit Required

Approval of this design review does not constitute an approval of any construction permit. An application for a clearing and grading permit must be submitted and approved before construction can begin. Plans submitted as part of any permit application for this project shall be consistent with the activity permitted under this approval and must comply with the City of Bellevue Clearing and Grading Code (BCC 23.76).

AUTHORITY: Clearing & Grading Code 23.76.035
REVIEWER: Savina Uzunow, Clearing & Grading Section

LAND USE DIVISION CONDITIONS (Prior to CG issuance)

15. Final Landscape Plan

The final Landscape Plan shall be submitted and reviewed as part of the Clearing and Grading Permit application for review by Land Use.

AUTHORITY: LUC 20.20.520
REVIEWER: Peter Rosen, Land Use

16. Street Trees and Right-of-Way Landscaping

The City's street tree palette along this portion of West Lake Sammamish Parkway SE includes *Cornus kousa x nuttallii* 'Starlight' and the landscape plan shall be revised to include this street tree specie to maintain consistency. The final Landscape Plan shall be submitted and reviewed as part of the Clearing and Grading Permit application

AUTHORITY: LUC 20.25N.060
REVIEWER: Peter Rosen, Land Use

TRANSPORTATION REVIEW CONDITIONS (Prior to CG issuance)

17. Right-of-Way Use Permit

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Tim Stever (425) 452-4294

18. Civil Engineering Plans– Transportation

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document.

All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans include, but are not limited to:

- a) Traffic signs and markings.
- b) Curb, gutter, sidewalk, and driveway approach design. The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.
- c) Curb ramps, crosswalk revisions, and crosswalk equipment such as pushbuttons.
- d) Installation or relocation of streetlights and related equipment.
- e) Undergrounding of existing overhead utility lines, which should be coordinated with adjacent sites. Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.
- f) Sight distance. Show the required sight triangles and include any sight obstructions, including those off-site. Sight distance triangles must be shown at all driveway locations and must consider all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.
- g) Landings on sloping approaches are not to exceed a 7% slope for a distance of 30 feet approaching the back edge of sidewalk. Driveway grade must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.
- h) City standards for driveway widths range from 30 to 36 feet on arterial streets, and 26 to 30 feet for local streets. Driveway aprons must be constructed in accordance with Design Manual Standard Drawings.
- i) Location of fixed objects in the sidewalk or near the driveway approach.
- j) Trench restoration within any right of way or access easement.

Specific requirements are detailed below.

West Lake Sammamish Parkway

- a. Install a minimum 8-foot-wide sidewalk with new curb and gutter along the frontage on the north side of West Lake Sammamish Parkway.
- b. Install two private driveway approaches per standard drawing RC-170-1.
- c. Install an RRFB controlled pedestrian crosswalk across West Lake Sammamish Parkway meeting Bellevue standards.
- d. Street lighting is required to meet City of Bellevue standards.
- e. Any utility lids in the sidewalk are required to be fitted with a non-skid lid.

Construction of all street and street frontage improvements must be completed prior to closing the clear and grade permit and right of way use permit for this project. A Design Justification Form must be provided to the Transportation

Department for any aspect of any pedestrian route adjacent to or across any street that cannot feasibly be made to comply with ADA standards. Design Justification Forms must be provided prior to approval of the clear and grade plans for any deviations from standards that are known in advance. Forms provided in advance may need to be updated prior to project completion. For any deviations from standards that are not known in advance, Forms must be provided prior to project completion.

AUTHORITY: BCC 14.60; Transportation Department Design Manual;
Americans with Disabilities Act

REVIEWER: Ian Nisbet (425) 452-4851

C. PRIOR TO BUILDING PERMIT: The following conditions are required by City Code. Unless specified otherwise below, these conditions must be complied with or plans submitted with the Building permit application:

19. FIRE REVIEW CONDITIONS (Prior to BP issuance)

The Bellevue Fire Department Fire Prevention Division has reviewed the submittal in accordance with the 2015 International Fire Code, 2015 International Building Code, City of Bellevue requirements, and good fire protection practices. This review was based upon, and limited to, the information presented on drawings and/or materials received in our office. The Fire Department can approve the application, subject to the following conditions.

1. The proposed activities center shall be provided with an automatic fire sprinkler system in accordance the International Fire Code as amended by the City of Bellevue. A permit for the fire system shall be obtained from the Fire Department prior to work commencing. (2015 IFC 903)
2. A fire department connection shall be located no less than 100' from a fire hydrant. (2013 NFPA 14, 6.4.5.4)
3. A fire alarm system shall be installed in the proposed activities center in accordance with the International Fire Code and NFPA 72. (2015 IFC 907)
4. A key-box access system shall be provided at the proposed activities center in accordance with the International Fire Code. The location and type shall be approved by the Fire department. (2015 IFC 506)
5. A fire sprinkler determination will be made for the proposed single family lot when the residential building permit is submitted.
6. Fire apparatus access roads shall not be obstructed in any manner, including parking of vehicles. (2015 IFC 503.4 BCCA) No parking is allowed on the 20' wide fire lane. Marking of the road, as outlined by the 2015 IFC 503.3 BCCA, will be required.

AUTHORITY: IFC 507.5.1, IFC 503
REVIEWER: Derek Landis, Fire Department

LAND USE REVIEW CONDITIONS (Prior to BP issuance)

20. Building Materials/Details and Color Samples

The development is subject to the building materials/details and color samples as shown on the attached plans. Construction permit documents shall be consistent with these material and design details.

AUTHORITY: LUC 20.25D.150.D
REVIEWER: Peter Rosen, Land Use

21. Solid Waste/Recycling Collection Facilities

Prior to the issuance of any construction permit, the applicant shall provide a written document demonstrating that Republic Services (City's waste hauler service) has been contacted and has approved the proposed access to the recycling and solid waste collection areas for this development. Service areas for trash dumpsters and equipment shall be adequately screened so these elements are not visible from public frontages or adjacent residences. In addition, all rights-of-way and public easements shall not be occupied by trash receptacles, dumpsters, recycling bins or other such items.

AUTHORITY: LUC 20.20.725
REVIEWER: Peter Rosen, Land Use

22. Shielded Lights

In order to mitigate for potential impacts to adjacent properties, including other residents within the development, any light source emitting from the project area shall be designed so as not to provide light and glare and spillover offsite. Cutoff shields shall be used.

AUTHORITY: Land Use Code 20.20.522
REVIEWER: Peter Rosen, Land Use

23. Mechanical Screening: Mechanical screening for above ground and roof mounted equipment shall be screened and integrated into the building design of each structure.

AUTHORITY: LUC 20.20.525
REVIEWER: Peter Rosen

TRANSPORTATION REVIEW CONDITIONS (Prior to BP issuance)

24. Transportation Impact Fee

Payment of the traffic impact fee will be required at the time of building permit issuance. If multiple building permits will be issued, the impact fee will be tied to the primary above-ground permit. Impact fees are subject to change and the fee schedule in effect at the time of building permit issuance will apply.

AUTHORITY: BCC 22.16
REVIEWER: Ian Nisbet (425) 452-4851

25. Building and Site Plans – Transportation

The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate on-site traffic markings and signs and driveway design as specified in the engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

AUTHORITY: BCC 14.60.060; 110; 120; 150; 180; 181; 190; 240; 241
REVIEWER: Ian Nisbet (425) 452-4851

26. Existing Easements

Any utility easements contained on this site which are affected by this development must be identified. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

AUTHORITY: BCC 14.60.100
REVIEWER: Tim Stever (425) 452-4294

27. Easements for Pedestrian Signal Equipment

The applicant shall provide easements to the City for location of pedestrian signal and RRFB facilities such as above-grade boxes and below-grade vaults between the building and sidewalk within the landscape area.

AUTHORITY: BCC 14.60.100
REVIEWER: Ian Nisbet (425) 452-4851

28. Sidewalk/Utility Easements

The applicant shall provide sidewalk and utility easements to the City such that sidewalks outside of the City right of way along the property frontage are located within a pedestrian easement area.

AUTHORITY: BCC 14.60.100
REVIEWER: Ian Nisbet (425) 452-4851

- D. PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY: The following conditions are required by City Code and supported by City Policy and shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):**

TRANSPORTATION DIVISION CONDITIONS (Prior to CO issuance)

29. Street Frontage Improvements

All street frontage improvements and other required transportation elements, including streetlight and traffic signal revisions, must be constructed by the applicant and accepted by the Transportation Department inspector. All existing street light and traffic signal apparatus affected by this development, including traffic controllers, pedestrian signal poles, traffic signal poles, and power sources, must be relocated as necessary. Existing overhead lines must be relocated underground. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction, unless the City requires a delay.

AUTHORITY: BCC 14.60; Comprehensive Plan Policy UT-39; Transportation Department Design Manual Sections; and Transportation Department Design Manual Standard Drawings.

REVIEWER: Ian Nisbet (425) 452-4851

30. Pavement Restoration

Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as follows:

- a) West Lake Sammamish Parkway: This street was recently overlaid and a five year no-street cut moratorium is currently in effect. Should street cuts prove unavoidable or if the street surface is damaged in the construction process, a half-street or full-street (depending on the extent of street cuts or damage) grind and overlay will be required.

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #23

REVIEWER: Tim Stever (425) 452-4294

LAND USE REVIEW CONDITIONS (Prior to CO issuance)

31. Landscape Installation Assurance Device

All site landscaping shall be 100% complete per the plan approved by the City. If a Temporary Certificate of Occupancy is requested prior to completion of the landscaping installation, the applicant shall file with the Development Services

Department a landscape installation assurance device equal to 150% of the cost of labor and materials for any landscaping that has not yet been installed.

AUTHORITY: LUC 20.40.490
REVIEWER: Peter Rosen, Land Use

32. Landscape Maintenance Assurance Device

The applicant shall file with the Development Services Department a landscape maintenance assurance device in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all landscaping on the site. The Maintenance Assurance Device will be held for one year after the landscape has been installed and inspected.

AUTHORITY: LUC 20.40.490
REVIEWER: Peter Rosen, Land Use

33. Parking Lot Striping: All parking stalls shall be striped and operable prior to Temporary Certificate of Occupancy.

AUTHORITY: LUC 20.20.590.K
REVIEWER: Peter Rosen

E. PRIOR TO ISSUANCE OF SIGN PERMIT(S)

34. Signage and Individual Sign Permits

There are no implied approvals of proposed signage within this Design Review approval. New and/or modified signage must meet the requirements of BCC 22.B.10.040. and approved through a Sign Permit (SA) application.

AUTHORITY: Bellevue City Code 22B.10 and LUC 20.25D.150.F
REVIEWER: Peter Rosen, Land Use

PRELIMINARY:
NOT FOR
CONSTRUCTION

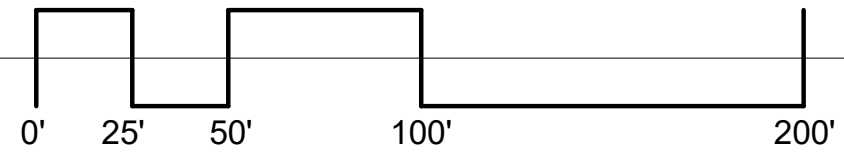
- NOTES:
- SEE REZONE PACKAGE FOR LEGAL DESCRIPTION
 - SEE SURVEY AND CIVIL DRAWINGS FOR EXISTING AND PROPOSED CONTOURS
 - SEE LANDSCAPE PLAN FOR SIGNIFICANT TREES RETAINED AND LANDSCAPE PROPOSED
 - SEE PHOTOMETRICS STREET LIGHTING PLAN FOR STREET LIGHTING STUDY

VICINITY MAP



IMPERVIOUS SURFACE/ LOT COVERAGE

EXISTING SITE		EXISTING SITE WITH PROPOSED MDP IMPROVEMENTS	
TOTAL SF	335,596 SF (7.7 AC)	TOTAL SF	335,596 SF (7.7 AC)
PERVIOUS SURFACE	220,393 SF (5.06 AC)	PERVIOUS SURFACE	218,386 SF (5.01 AC)
IMPERVIOUS SURFACE	71,736 SF (1.76 AC)	IMPERVIOUS SURFACE	72,167 SF (1.66 AC)
LOT COVERAGE	43,467 SF (1.00 AC)	LOT COVERAGE	45,043 SF (1.03 AC)
IMPERVIOUS SURFACE %	21%	IMPERVIOUS SURFACE %	22%
LOT COVERAGE %	13%	LOT COVERAGE %	13.4%

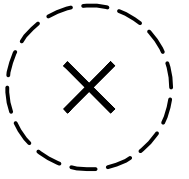


PROJECT INFORMATION	
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PROJECT LEAD:	Designer
DRAWN BY:	Author

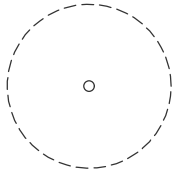
SHEET NO

A1.01

LEGEND



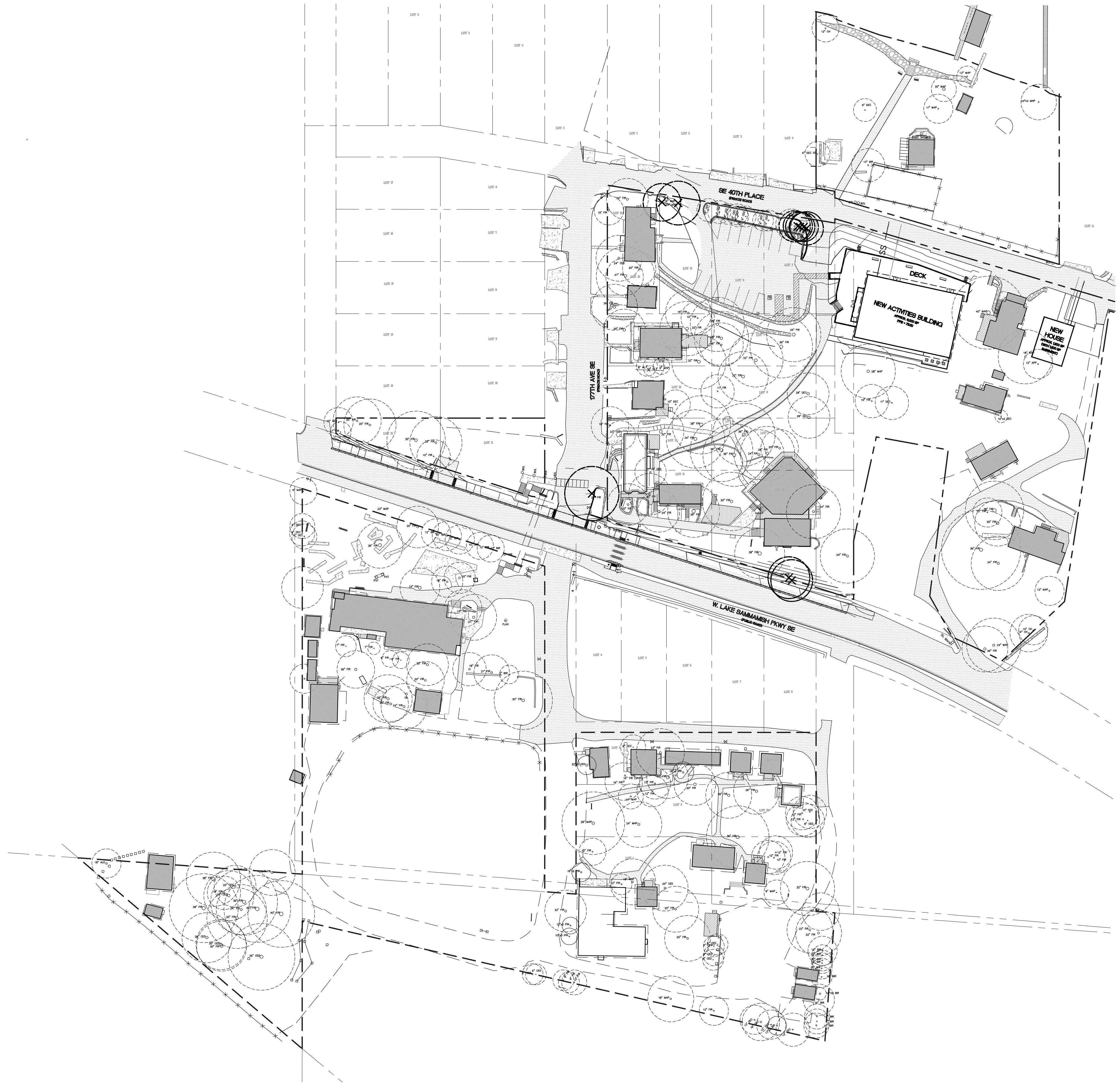
EXISTING TREE TO BE REMOVED



EXISTING TREE TO REMAIN

TREE RETENTION AND REPLACEMENT
REQUIREMENTS (LUC 20.20.900)

TOTAL TREES: 217
TOTAL TREE DIAMETER: 4,085 INCHES
TREES TO BE REMOVED: 169 INCHES
DIAMETER OF TREES REMOVED: 4.14% (169 / 4,085)
DIAMETER OF TREES TO REMAIN: 95.86% (3,916 / 4,085)
MIN. REQ'D: 30.0%



1

TREE RETENTION AND REPLACEMENT PLAN

SCALE: 1" = 30'-0"

0 50' 100'
SCALE: 1" = 50'-0"



SAMBICA MASTER DEVELOPMENT
PLAN

4114 W LAKE SAMMAMISH PARKWAY SE
BELLEVUE, WA 98008

CLIENT
RYAN GILBERT
SAMBICA
4114 W LK SAMMAMISH
PKWY SE
BELLEVUE, WA 98008
425.746.9110 EXT. 16

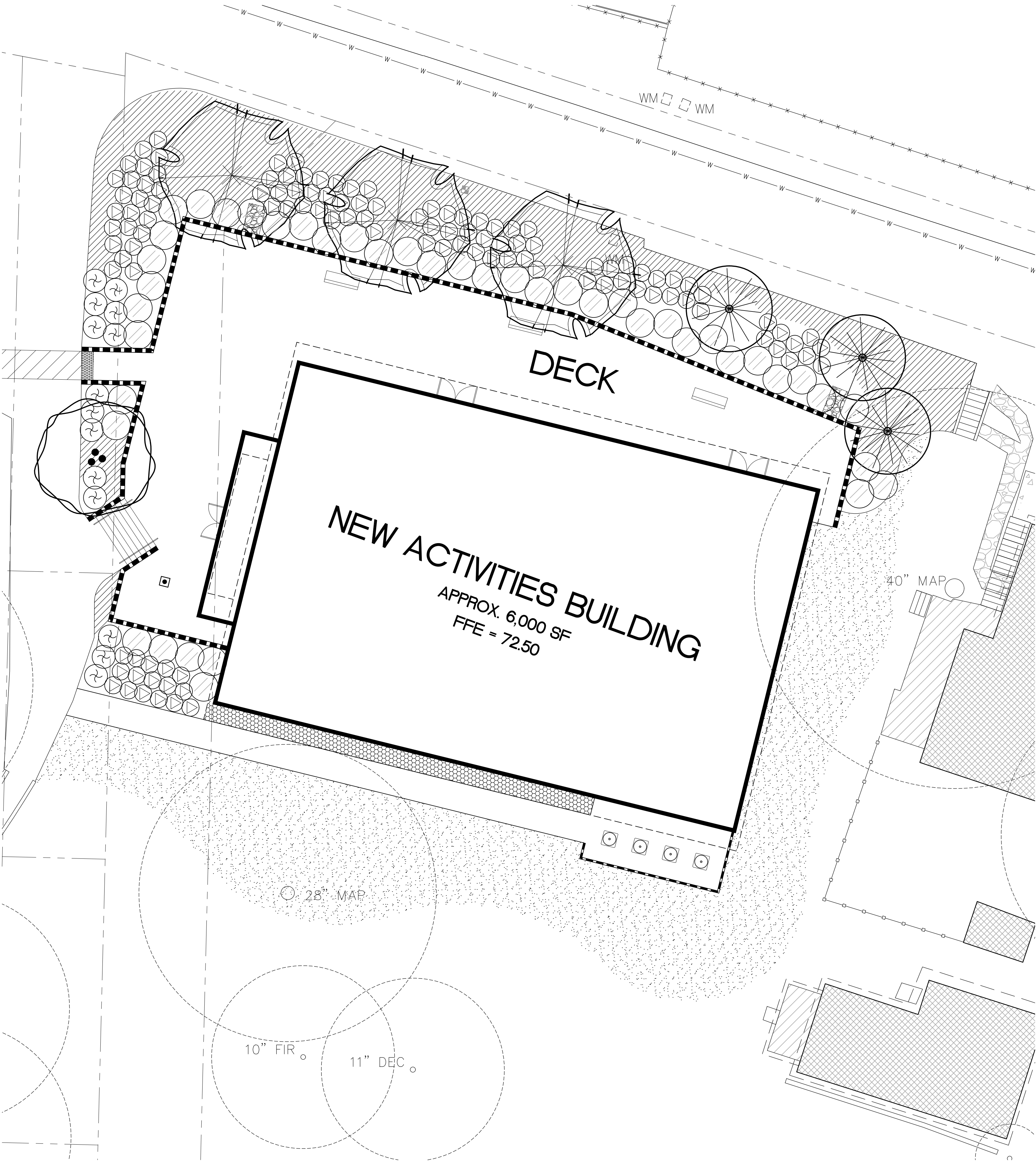
PROJECT NO.

TREE
RETENTION &
REPLACEMENT
PLAN

L1.00

SHEET 1 OF 4

DATE	REVISION	BY	CHK. NO.
3/06/20	PRELIMINARY SUBMITTAL		



PLANT SCHEDULE					
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
TREES					
	LARGE DECIDUOUS TREES		3	2" Cal. Min	Spacing as shown
	- Ginkgo biloba 'Fastigiata'	Columnnar Ginkgo			
	- Prunus serrulata 'Amanogawa'	Amanogawa Cherry			
	- Liriodendron tulipifera 'fastigiatum'	Columnnar Tulip Tree			
	- Gleditsia triacanthos 'Draves'	Street keeper Honey Locust			
	EVERGREEN TREES		3	6' Ht. Min.	Spacing as shown
	- Tsuga menziesii	Mountain Hemlock			
	- Thuja plicata 'Excelsa'	Western Red Cedar			
	- Pseudotsuga menziesii	Douglas Fir			
	DECIDUOUS ORNAMENTAL TREES		1	2" of multi-stem. Min 7' Ht.	Spacing as shown
	- Acer circinatum 'Pacific Fire'	Pacific Fire Vine Maple			
	- Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry			
	- Cornus Kousa	Kousa Dogwood			
	- Magnolia stellata 'Royal Star'	Royal Star Magnolia			
	SHRUBS				
	EVERGREEN SCREENING SHRUBS			5 GAL., Cont. 6' Min Ht.	Spacing as shown
	- Thuja occidentalis 'Pyramidalis'	Pyramidalis arborvitae			
	LARGE BROADLEAF EVERGREEN SHRUBS			5 GAL., Cont. 30" Min Ht.	Spacing as shown
	- Myrica californica	California Wax Myrtle			
	- Photinia glabra	Japanese Photinia			
	- Viburnum tinus	Spring Bouquet Laurustinus			
	- Viburnum plicatum 'Tomentosum'	Doublefile Viburnum			
	- Cistus purpureus	Purple Rockrose			
	SMALL BROADLEAF EVERGREEN SHRUBS		121	24" Min Ht.	Spacing as shown
	- Sarcococca ruscifolia	Sweetbox			
	- Rhododendron x kosteranum	Mollis Azalea			
	- Rhododendron x 'P.J.M.'	P.J.M. Rhododendron			
	- Vaccinium ovatum	Evergreen Huckleberry			
	- Nandina domestica 'Gulf Stream'	Gulf Stream Heavenly Bamboo			
	DECIDUOUS ACCENT SHRUBS		23	3 GAL., Cont. 24" Min. Ht	Spacing as shown
	- Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea			
	- Spiraea x bumalda 'Goldflame'	Goldflame Spirea			
	- Lavandula angustifolia	Lavender			
	- Daphne odora	Daphne blossoms			
	ORNAMENTAL GRASSES / PERENNIALS		0	1 GAL., Cont.	Spacing as shown
	- Miscanthus sinensis 'Morning Light'	Silver Grass			
	- Hakonechloa macra 'All Gold'	All Gold Japanese Forest Grass			
	- Festuca idahoensis	Blue Fescue			
	GROUNDCOVERS, ANNUALS AND PERENNIALS				
	EXISTING VEGETATION TO REMAIN				
	GROUNDCOVER			1 GAL. cont. 18" o.c. spacing.	18" o.c.
	- Gautheria shallon	Salal			
	- Calluna vulgaris	Heather			
	- Vinca minor	Periwinkle			
	- Ceanothus gloriosus	Point Reyes Creeper			
	SEEDED / SODDED LAWN				
	MULCH				

BY

CK. NO.

REVISION

PRELIMINARY SUBMITTAL

DATE

3/06/20

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
DAVID STUART ANDREWS
CERTIFICATE NO. 439

SAMBICA MASTER DEVELOPMENT
PLAN

4114 W LAKE SAMMAMISH PARKWAY SE
BELLEVUE, WA 98008

CLIENT

RYAN GILBERT

SAMBICA

4114 W LK SAMMAMISH
PKWY SE

BELLEVUE, WA 98008

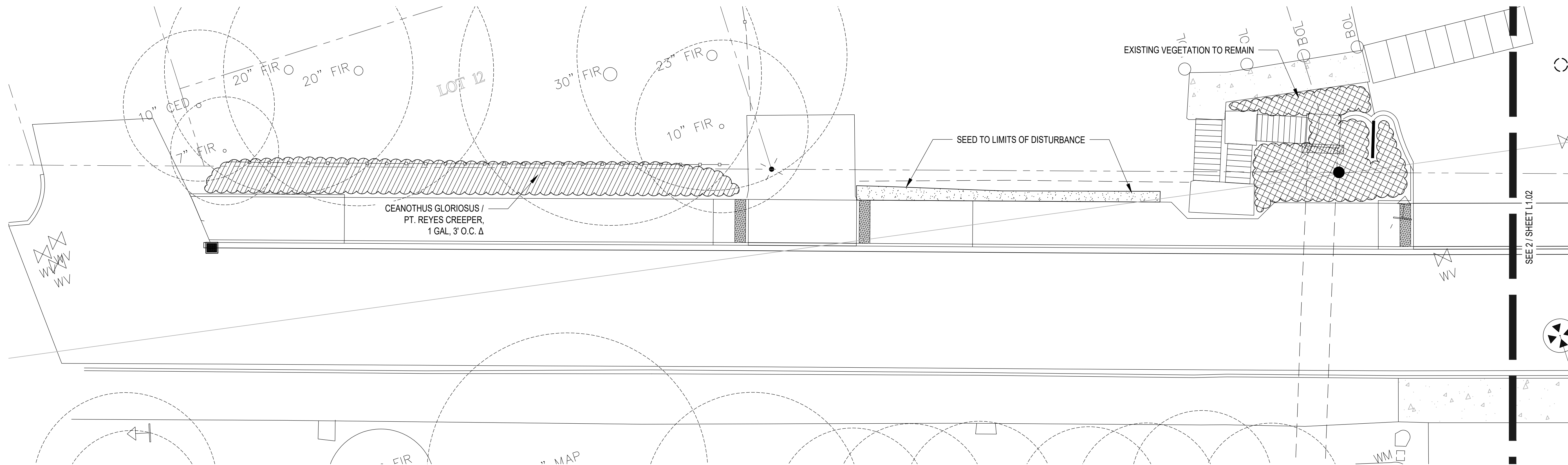
425.746.9110 EXT. 16

PROJECT NO.

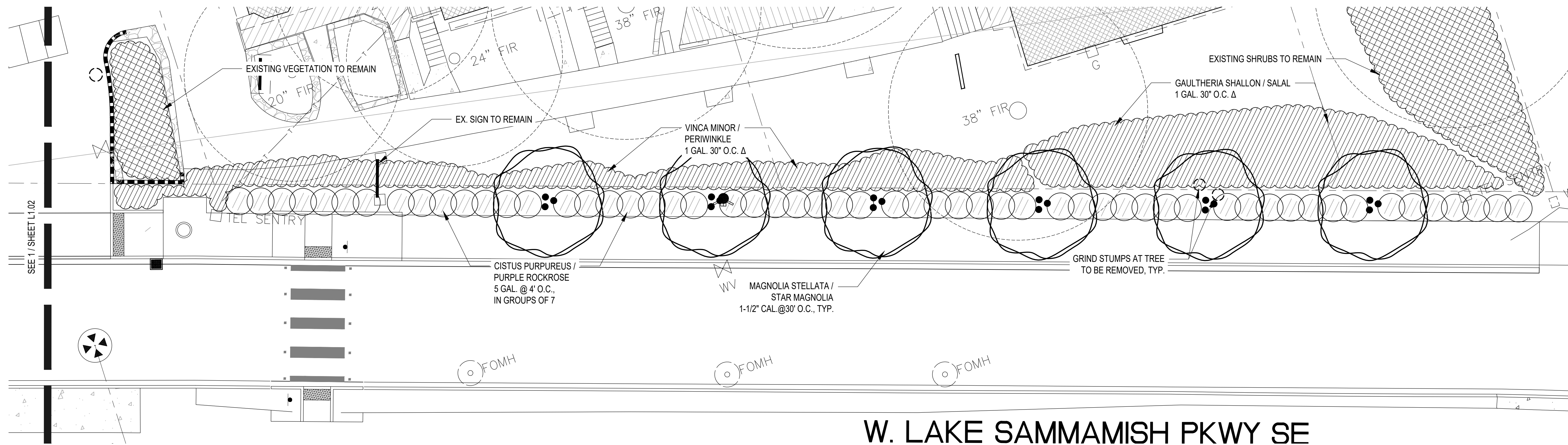
PLANTING PLAN
- ACTIVITIES
BUILDING

L1.01

SHEET 1 OF 4



1 PLANTING PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"



2 PLANTING PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"

NOTE: SEE SHEET L1.01 FOR PLANTING LEGEND, NOTES, AND DETAILS

0 10' 20'
SCALE: 1" = 10'-0"



DATE	REVISION	BY	CK. NO.
3/06/20	PRELIMINARY SUBMITTAL		



SAMBICA MASTER DEVELOPMENT PLAN

4114 W LAKE SAMMAMISH PARKWAY SE
BELLEVUE, WA 98008

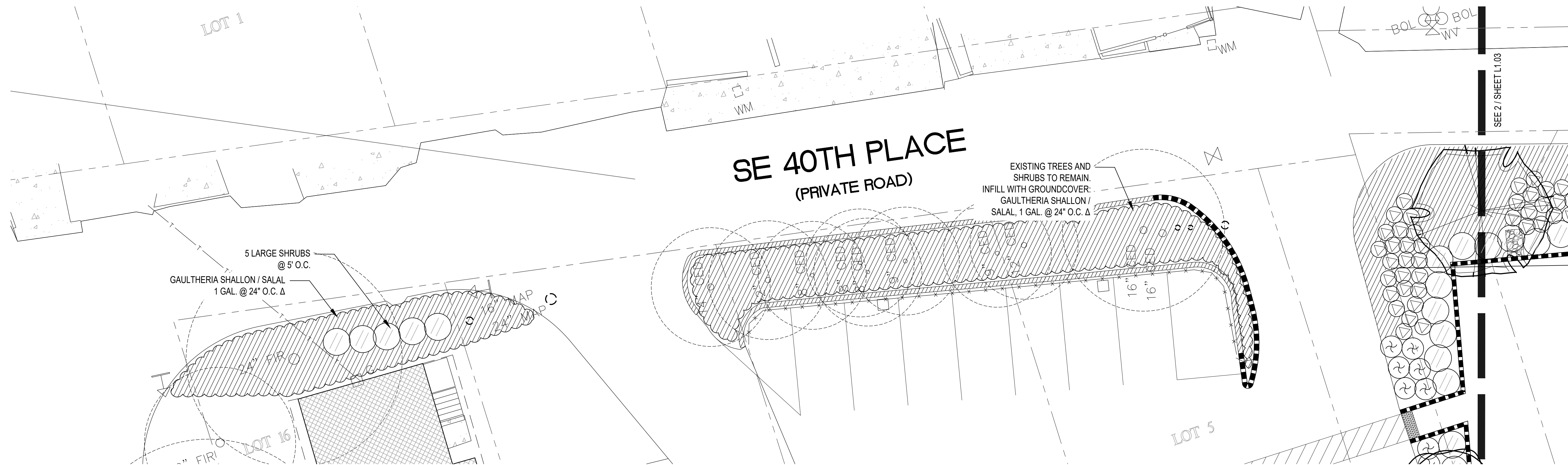
CLIENT
RYAN GILBERT
SAMBICA
4114 W LK SAMMAMISH
PKWY SE
BELLEVUE, WA 98008
425.746.9110 EXT. 16

PROJECT NO.

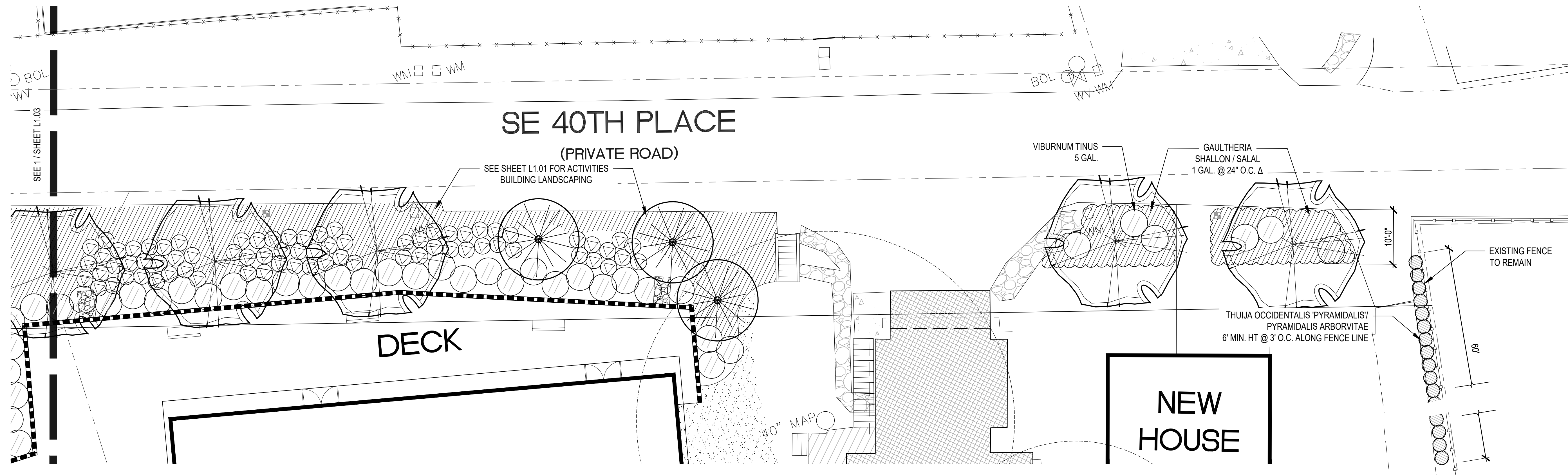
**PLANTING PLAN
ENLARGEMENT
PLAN**

L1.02

SHEET 1 OF 4

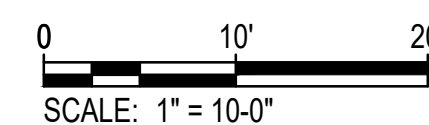


1 PLANTING PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"



2 PLANTING PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"

NOTE: SEE SHEET L1.01 FOR PLANTING LEGEND, NOTES, AND DETAILS



DATE	REVISION	BY	CHK. NO.
3/06/20	PRELIMINARY SUBMITTAL		



SAMBICA MASTER DEVELOPMENT PLAN

4114 W LAKE SAMMAMISH PARKWAY SE
BELLEVUE, WA 98008

CLIENT
RYAN GILBERT
SAMBICA
4114 W LK SAMMAMISH
PKWY SE
BELLEVUE, WA 98008
425.746.9110 EXT. 16

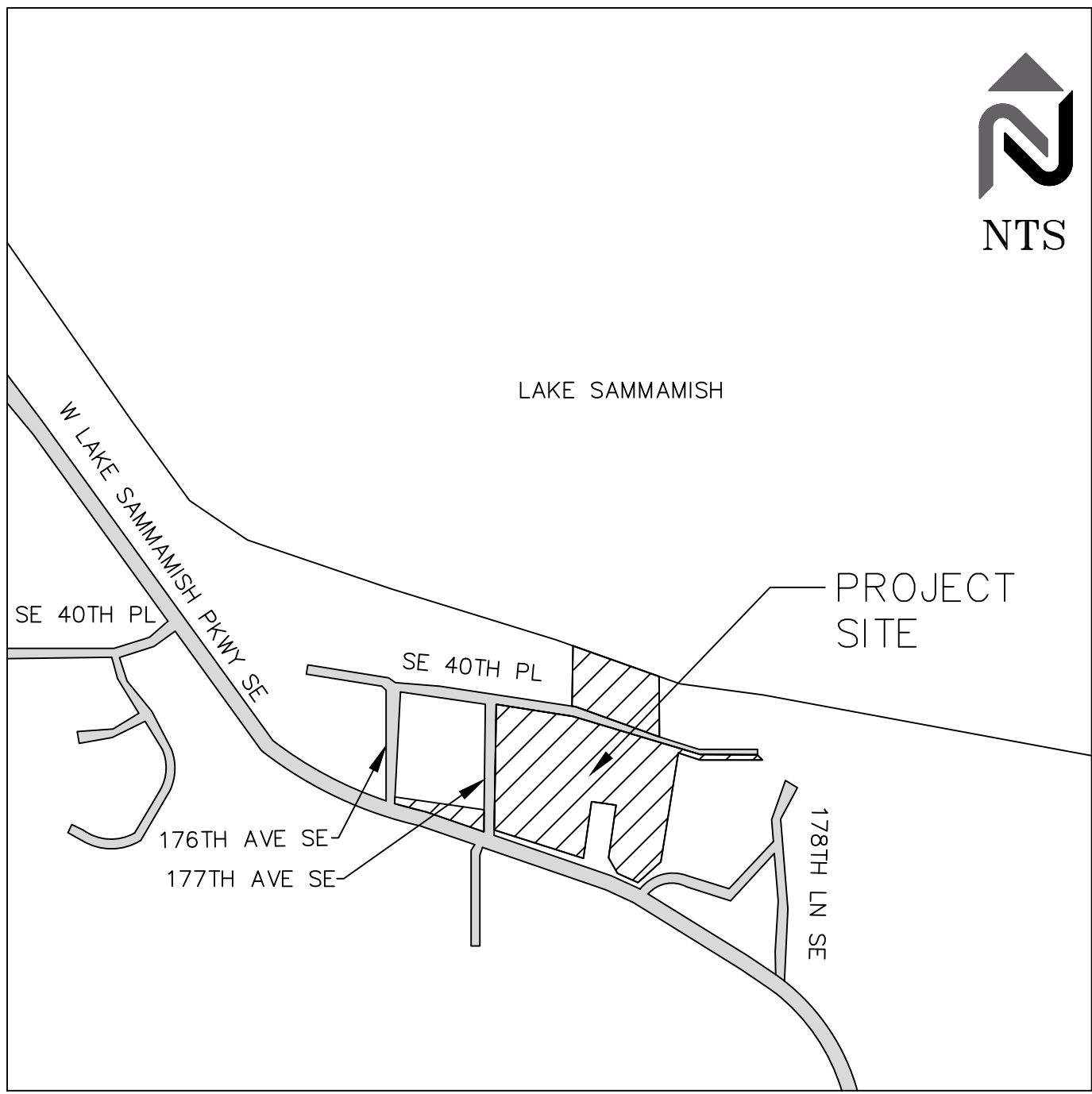
PROJECT NO.

**PLANTING PLAN
ENLARGEMENT
PLAN**

L1.03

SHEET 1 OF 4

\\nav-hel-file\projects\Washington\Bellevue\Sambica\2Drawings\BESB_110S_ADR and MDP.dwg Feb 26, 2020 - 5:16pm



VICINITY MAP
N.T.S.

CONSULTANTS

CIVIL:
NAVIX ENGINEERING
11235 SE 6TH STREET, SUITE 150
BELLEVUE, WA 98004
(425) 458-7896
CONTACT: JENELLE TAFLIN, P.E., LEED AP

ARCHITECT:
TGB ARCHITECTS
21911 76TH AVE W., SUITE 210
EDMONDS, WA 98026
(425) 778-1530
CONTACT: DEXTER CHIN

LANDSCAPE ARCHITECT:
ANDREWS LANDSCAPE ARCHITECTS
100 KING STREET, SUITE 415
SEATTLE, WA, 98104
(206) 602-6851
CONTACT: DAVE ANDREWS, RLA

TRANSPORTATION:
JAKE TRAFFIC ENGINEERING, INC.
3614 39TH AVE SW
SEATTLE, WA 98116
(206) 762-1978
CONTACT: MARK JACOBS, PTOE

SURVEYOR:
GEODIMENSIONS, INC.
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
(425) 458-4488

APPLICANT

SAMBICA
4114 W LAKE SAMMAMISH PKWY SE
BELLEVUE, WA 98008
(425) 746-9110
CONTACT: RYAN GILBERT

TESC SUPERVISOR

XXXXXXXXXXXX
ADDRESS
CITY, STATE, ZIP
PHONE NUMBER
CONTACT: XXXXXX XXXXX

(TESC SUPERVISOR MAY
CHANGE UPON SELECTION OF
CONTRACTOR)

UTILITIES

STORMWATER:
CITY OF BELLEVUE
UTILITIES DEPARTMENT
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-6825
CONTACT: CHRIS BROOKES

SANITARY SEWER:
CITY OF BELLEVUE
UTILITIES DEPARTMENT
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-6825
CONTACT: CHRIS BROOKES

WATER:
CITY OF BELLEVUE
UTILITIES DEPARTMENT
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-6825
CONTACT: CHRIS BROOKES

FIRE DEPARTMENT:
BELLEVUE FIRE
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-4112
CONTACT: DEREK LANDIS

ELECTRICAL:
PUGET SOUND ENERGY
10885 NE 4TH STREET
BELLEVUE, WA 98004
(888) 225-5773

NATURAL GAS:
PUGET SOUND ENERGY
10885 NE 4TH STREET
BELLEVUE, WA 98004
(888) 225-5773

TELECOMMUNICATION:
CENTURYLINK
1600 BELL PLAZA
SEATTLE, WA 98191
(206) 345-2211

BUILDING

CITY OF BELLEVUE
DEVELOPMENT SERVICES
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-6964
CONTACT: BEHROOZ KHORRAMI

PLANNING

CITY OF BELLEVUE
DEVELOPMENT SERVICES
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-4578
CONTACT: NICK WHIPPLE

TRANSPORTATION

CITY OF BELLEVUE
TRANSPORTATION DEPARTMENT
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-2569
CONTACT: VANESSA HUMPHREYS

CLEARING AND GRADING

CITY OF BELLEVUE
DEVELOPMENT SERVICES
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-5207
CONTACT: TOM MCFARLANE

PROJECT DATA

PROPOSED ON-SITE AREA
PARCEL NUMBERS
= ± 8.99 ACRES
= 1324059033, 8043700380, 1324059051,
8043700370, 8043700325, 8043700330,
8043700375, 8043700365, 8043700335,
8043700060, 8043700055, 8043700140,
8043700135, 8043700145, 8043700130,
8043700150, 8043700125, 8043700155,
8043700120, 8043700165, 8043700160,
8043700115, 8043700110, 8043700170,
AND 8043700400

EXISTING USE
PROPOSED USE
ZONING DESIGNATION
= RESORT/LODGE/RETREAT
= RESORT/LODGE/RETREAT
= SINGLE-FAMILY (R-5)
= MULTI-FAMILY (R-20)
= NEIGHBORHOOD BUSINESS (NB)

VERTICAL DATUM

CITY OF BELLEVUE VT. STA. NO. 163 (HZ. STA. 310)
FOUND "CITY OF BELLEVUE" BRASS CAP IN CONC STAMPED "0310", NORTH END
SUNSET ELEMENTARY SCHOOL SIGN WEST SIDE WEST LK SAMMAMISH PRKY SE
NORTH OF I-90.

ELEV: 158.49' (NAVDB88)

BASIS OF BEARINGS

NAD83/91

ACCEPTED THE BEARING OF N70°47'48"W FOR THE CENTERLINE OF W LAKE
SAMMAMISH PKWY SE, BASED ON FOUND MONUMENTS IN CASE, PER CITY OF
BELLEVUE SURVEY CONTROL DATABASE.

GENERAL NOTES (NAVIX)

SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS,
THE CITY OF BELLEVUE STANDARD SPECIFICATIONS, AND THE A.P.W.A. STANDARDS
WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS.

THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING
CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE
EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON A SURVEY
PREPARED BY GEODIMENSIONS., DATED 03/06/2016. THE CONTRACTOR IS RESPONSIBLE
FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK
IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE
OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE
AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING
TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE,
AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND
SUBMIT IT TO THE OWNER FOR REVIEW.

CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING
UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY
COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE
INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE
CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS
BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL
BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES
WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

SHEET INDEX

CVR-1	COVER SHEET
C-1.0	OVERALL CLEARING, GRADING, UTILITY AND SITE PLAN
C-1.1	CLEARING, GRADING, UTILITY AND SITE PLAN
C-1.2	CLEARING, GRADING, UTILITY AND ROAD PLAN
C-1.3	FIRE TRUCK ROUTE
C-1.4	SIGHT DISTANCE PLAN

~~SHEET 1 OF 7 - TOPOGRAPHIC & BOUNDARY SURVEY~~

~~SHEET 2 OF 7 - TOPOGRAPHIC & BOUNDARY SURVEY~~

~~SHEET 3 OF 7 - TOPOGRAPHIC & BOUNDARY SURVEY~~

~~SHEET 4 OF 7 - TOPOGRAPHIC & BOUNDARY SURVEY~~

~~SHEET 5 OF 7 - TOPOGRAPHIC & BOUNDARY SURVEY~~

~~SHEET 6 OF 7 - TOPOGRAPHIC & BOUNDARY SURVEY~~

~~SHEET 7 OF 7 - TOPOGRAPHIC & BOUNDARY SURVEY~~

EXISTING LEGEND

⊕	AREA DRAIN	C.O.C.	CENTER OF CHANNEL	IE	INVERT ELEVATION	SSS	SANITARY SIDE SEWER (RECORD)
■	ASPHALT (ASPH)	DWY	DRIVEWAY	☼	LIGHT POLE (DECORATIVE)	↑	SIGN/STREET NAME SIGN
—	BUILDING LINE	ECD	ELECTRICAL CONDUIT	LSCAPE/PA	LANDSCAPE/PLANTER	TC/SL	TRAFFIC CONTROL/STREET LIGHT HANDHOLE
⊠	CATCH BASIN (CB)	ED	ELECTRICAL DUCT	⊗	MANHOLE	⊗	TEMPORARY BENCHMARK (TBM)
▨	CONCRETE SURFACE	EM	ELECTRICAL METER	℞	PROPERTY LINE (PL)	⊗	TELEPHONE CONDUIT (BURIED)
CC	CONCRETE	EV/ET	ELECTRICAL VAULT/TRANSFORMER	SD	STORM DRAIN	TD	TELEPHONE DUCT
—	CHAIN LINK FENCE (CLF)	⊗	FOUND SURVEY MONUMENT (AS NOTED)	⊠	PRIVATE CATCH BASIN	TV	TELEPHONE VAULT
CTV	CABLE TV	⊗	FIRE HYDRANT	▨	GRAVEL SURFACE	TMH	TELEPHONE MANHOLE
COL	COLUMN	⊗	FIRE DEPT. CONNECTION (FDC)	▨	ROCKERY	TS	TELEPHONE SENTRY
⊗/M	CENTERLINE/MONUMENT LINE	FO	FIBER OPTICS	SCL/CLHH	SEATTLE CITY LIGHT HANDHOLE	WV	WATER VAULT
CON	CONIFEROUS TREE	FOMH	FIBER OPTIC MANHOLE	SD	SERVICE DRAIN (STORM)	W	WATER MAIN
DEC	DECIDUOUS TREE	⊗/CB	IRRIGATION CONTROL BOX	CO	CLEANOUT	WM	WATER METER
CMP	CORRUGATED METAL PIPE	⊗	IRRIGATION VALVE	STM/V	STEAM LINE/VAULT	⊗	WATER VALVE



11235 s.e. 6th street | suite 150
bellevue, wa 98004

t: 425.453.9501 | f: 425-453-8208
www.navixeng.com

CLIENT/OWNER

SAMBICA

PROJECT NAME

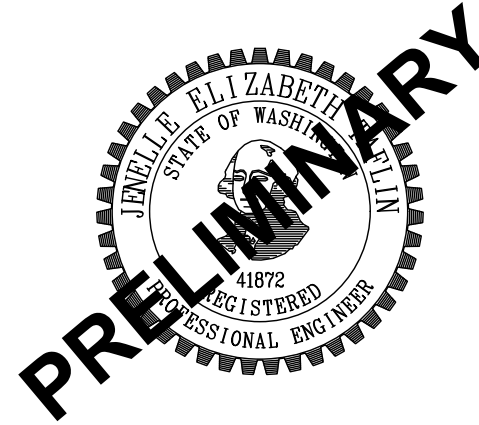
SAMBICA

NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

4114 W LAKE
SAMMAMISH PKWY SE
BELLEVUE, WA 98008

STAMP



REVISIONS

REV	ISSUED FOR:	DATE
1	ADR AND MDP PLANS	03.27.18
2	ADR AND MDP PLANS	02.19.19
3	ADR AND MDP PLANS	10.25.19
4	ADR AND MDP PLANS	02.26.20



SECTION, TOWNSHIP, RANGE:

NE 1/4 OF NE 1/4 SECTION 13,
TOWNSHIP 24 NORTH, RANGE 05
EAST, W.M.

PROJECT TEAM

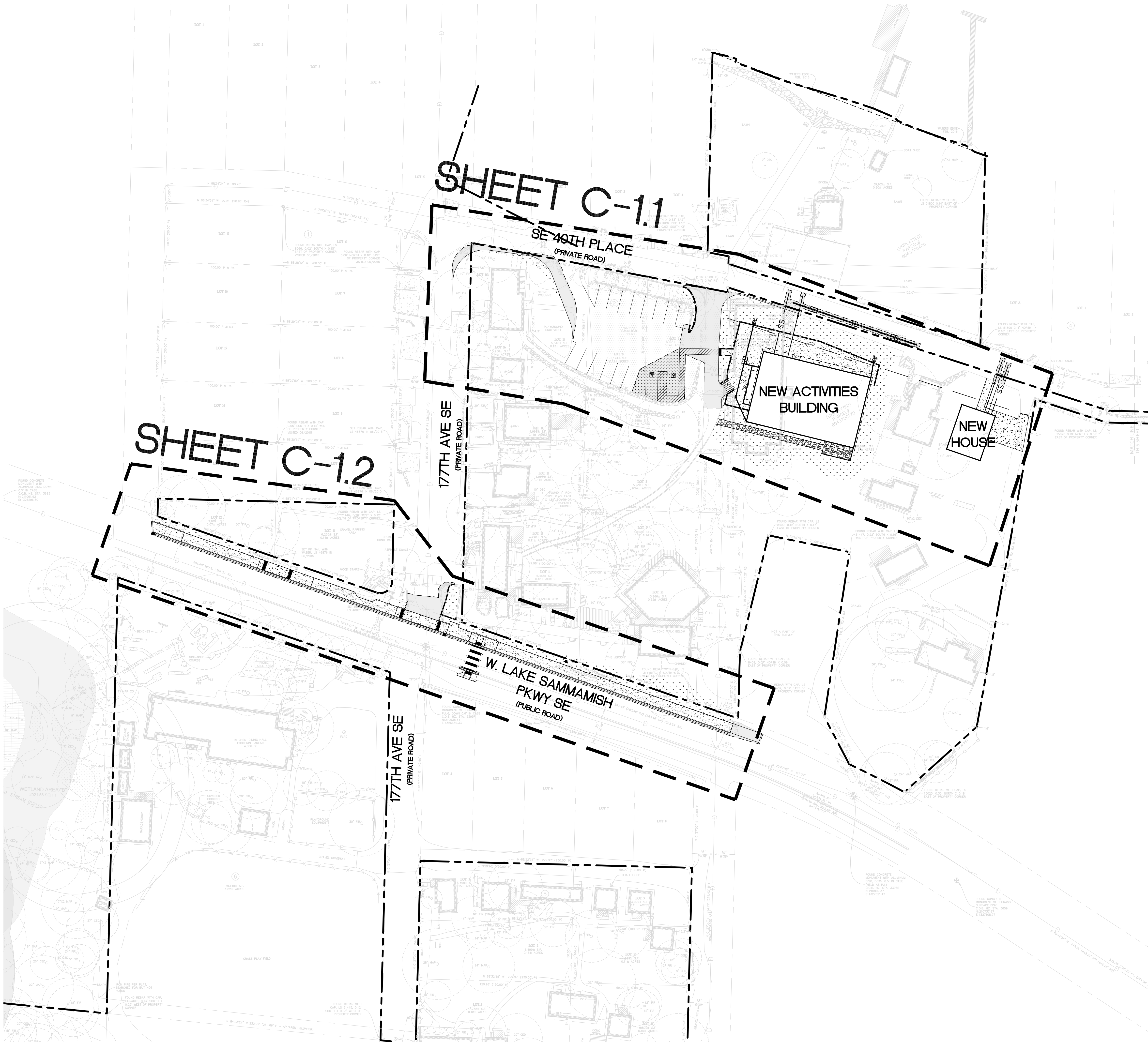
REVIEWED BY: J.TAFLIN
DESIGNED BY: J.GREEN
T.PRUSA

SHEET NAME

COVER SHEET

SHEET NUMBER

CVR-1



LEGEND:

- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED EDGE OF ASPHALT
- PROPOSED SAWCUT LINE
- PROPOSED RETAINING WALL
- PROPOSED STANDARD DUTY PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPE AREA
- PROPOSED GRAVEL AREA
- PROPOSED ASPHALT GRIND AND OVERLAY

NAVIX
SITE | CIVIL

11235 s.e. 6th street | suite 150
bellevue, wa 98004

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www.navixeng.com

CLIENT/OWNER

SAMBICA

PROJECT NAME

SAMBICA

NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

4114 W LAKE
SAMMAMISH PKWY SE
BELLEVUE, WA 98008

STAMP

PRELIMINARY

REVISIONS		
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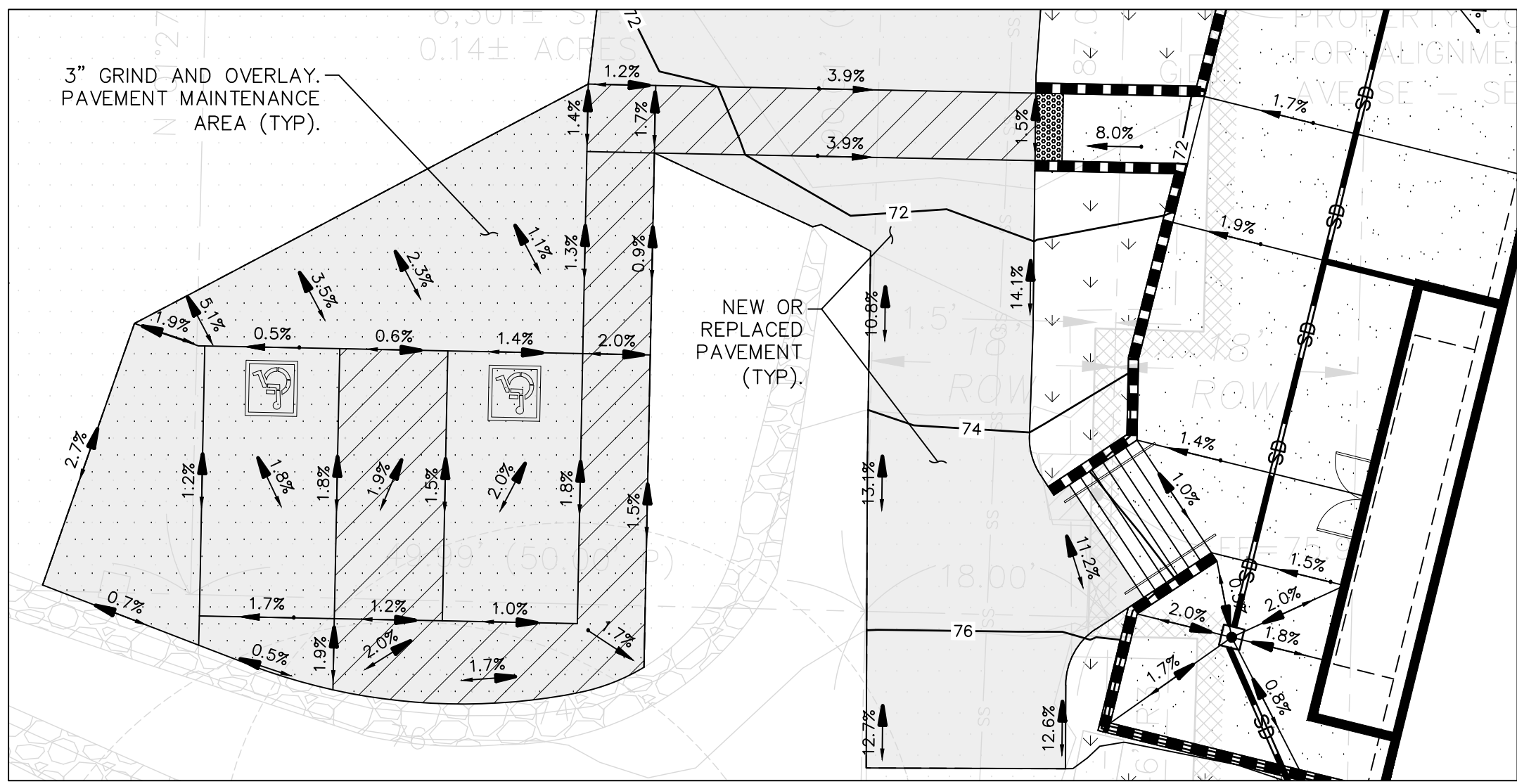
SECTION, TOWNSHIP, RANGE:
NE 1/4 OF NE 1/4 SECTION 13,
TOWNSHIP 24 NORTH, RANGE 05
EAST, W.M.

PROJECT TEAM

REVIEWED BY: J.TAFLIN
DESIGNED BY: J.GREEN
T.PRUSA

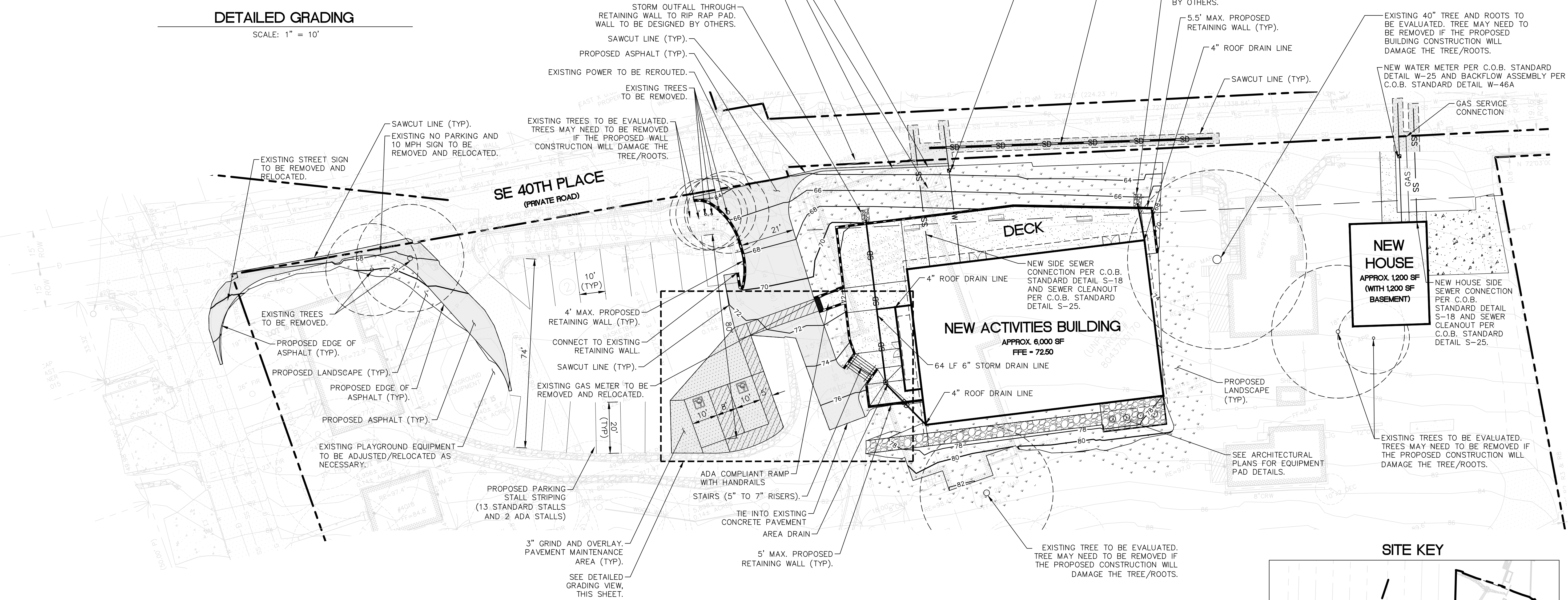
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**OVERALL
CLEARING,
GRADING, UTILITY,
AND SITE PLAN**

SHEET NUMBER
C-1.0



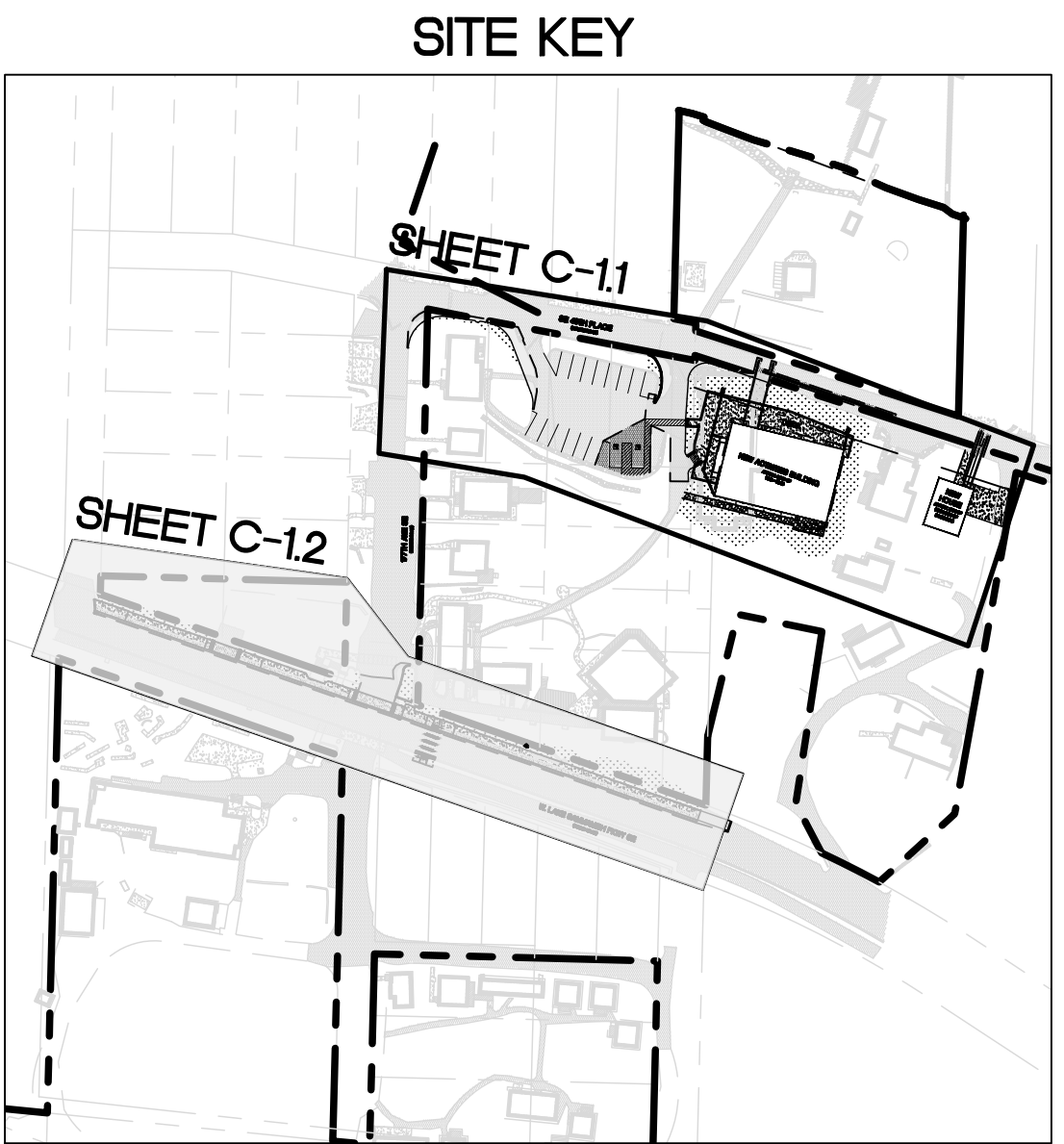
DETAILED GRADING

SCALE: 1" = 10'



LEGEND:

	PROPERTY LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED EDGE OF ASPHALT
	PROPOSED SAWCUT LINE
	PROPOSED RETAINING WALL
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CLIENT/OWNER

SAMBICA

PROJECT NAME

SAMBICA

NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

**4114 W LAKE
SAMMAMISH PKWY SE
BELLEVUE, WA 98008**

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SECTION, TOWNSHIP, RANGE:
NE 1/4 OF NE 1/4 SECTION 13,
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EAST, W.M.

PROJECT TEAM

REVIEWED BY:	J.TAFLIN
DESIGNED BY:	J.GREEN T.PRUSA

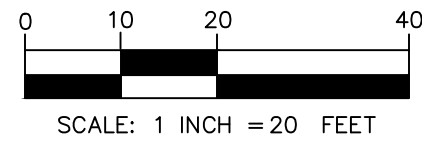
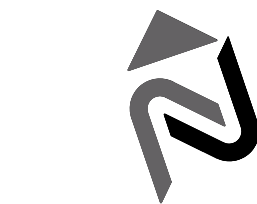
SHEET NAME

**CLEARING,
GRADING, UTILITY
AND SITE PLAN**

SHEET NUMBER

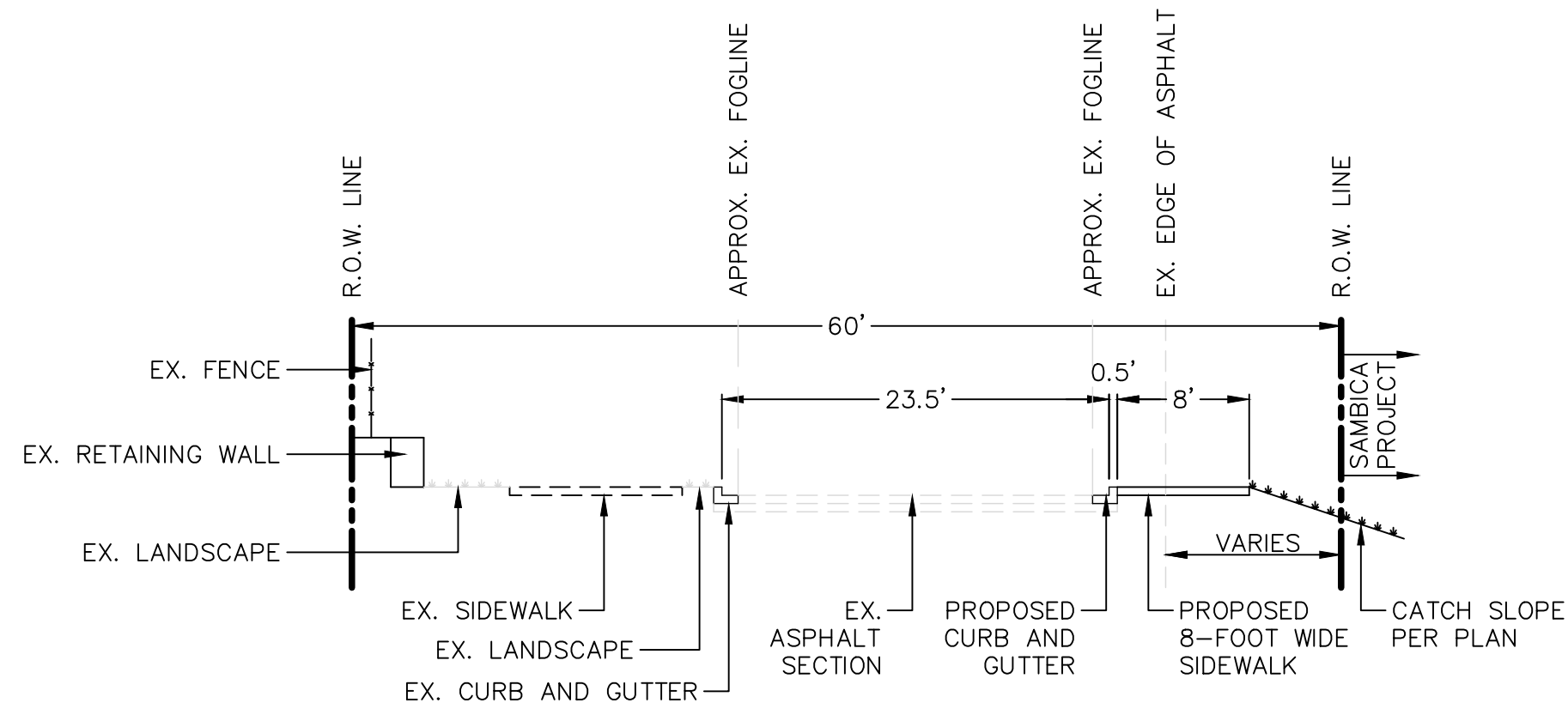
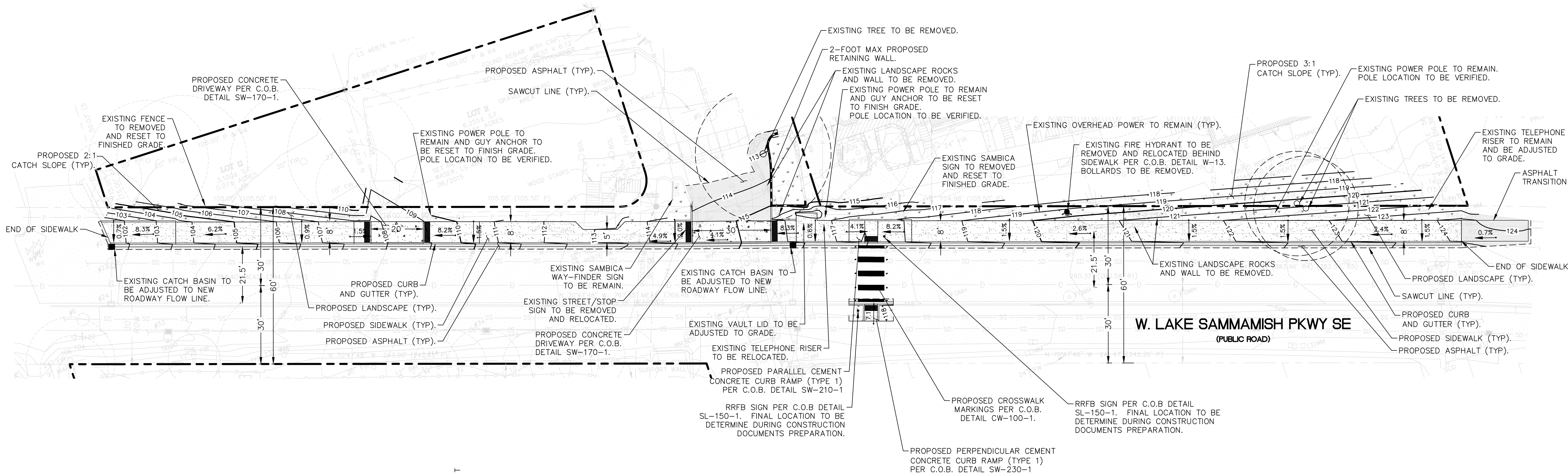
C-1.1

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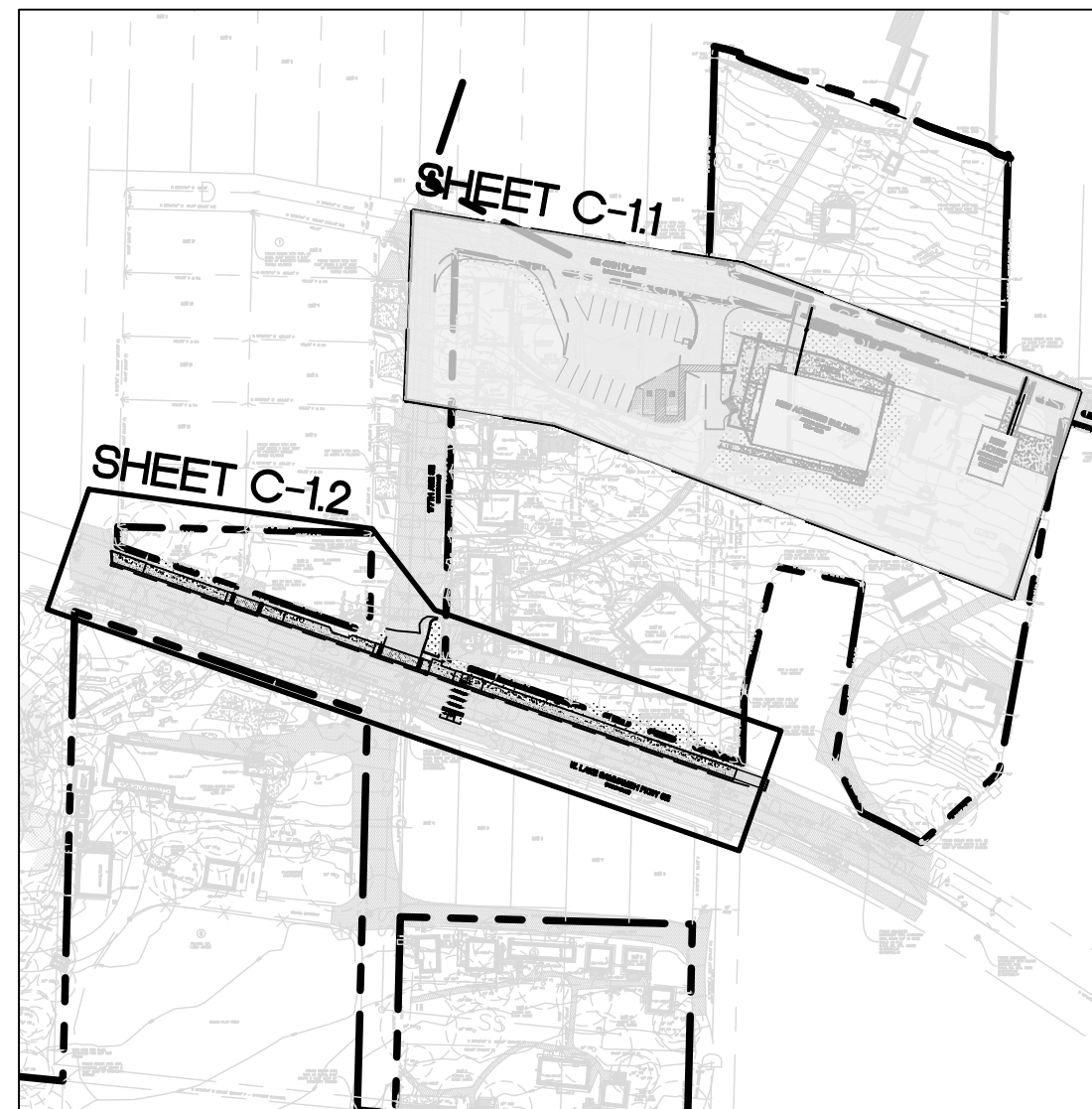
LEGEND:

	PROPERTY LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED EDGE OF ASPHALT
	PROPOSED SAWCUT LINE
	PROPOSED RETAINING WALL
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	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED LANDSCAPE AREA
	PROPOSED GRAVEL AREA
	PROPOSED ASPHALT GRIND AND OVERLAY



PROPOSED W. LAKE SAMMAMISH PKWY SE SECTION
SCALE: 1" = 10'

SITE KEY



11235 s.e. 6th street | suite 150
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CLIENT/OWNER

SAMBICA

PROJECT NAME

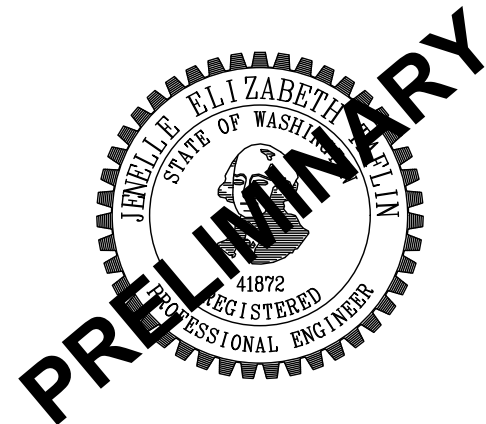
SAMBICA

NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

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SAMMAMISH PKWY SE
BELLEVUE, WA 98008

STAMP



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SECTION, TOWNSHIP, RANGE:

NE 1/4 OF NE 1/4 SECTION 13,
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PROJECT TEAM

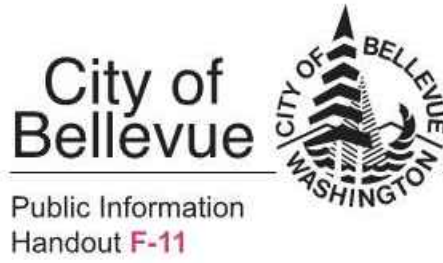
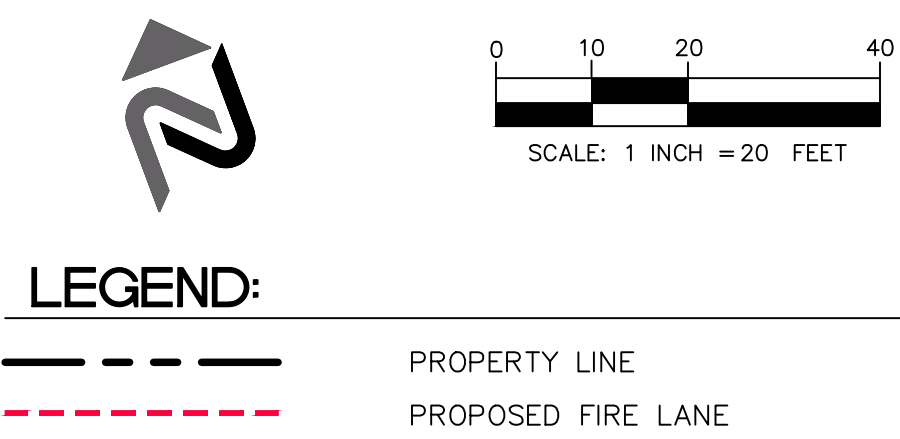
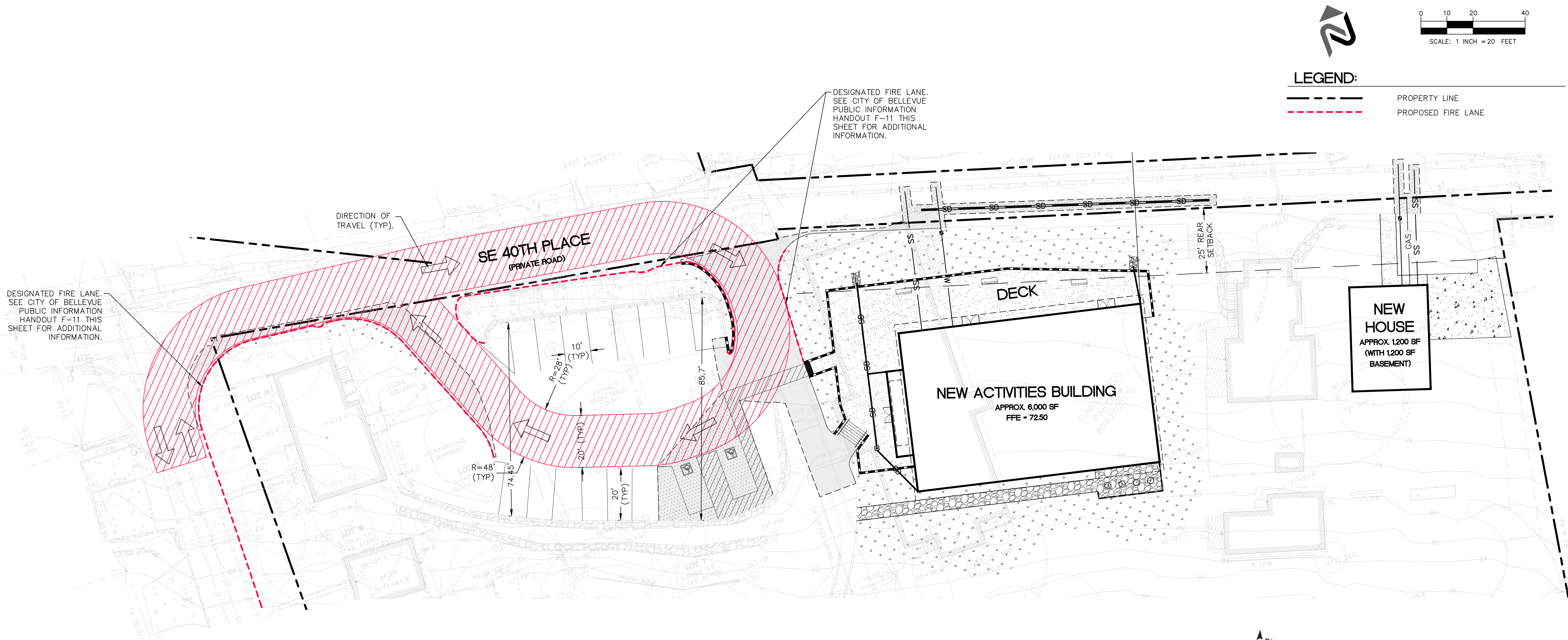
REVIEWED BY: J.TAFLIN
DESIGNED BY: J.GREEN
T.PRUSA

SHEET NAME

CLEARING,
GRADING, UTILITY
AND SITE PLAN

SHEET NUMBER

C-1.2



Fire Lanes

August 2013

Fire Lane Requirements
In general, fire lanes must be at least 20 feet in width, not less than 13' 6" in unobstructed height and able to support fire vehicles.

Designated fire lanes shall be marked by both of the following:

- signs posted at a minimum height of 7' measured from the street or sidewalk to the bottom of the sign. When signs are wall/ mounted the top of the sign may be no lower than 5' above the street or sidewalk.



Place signs at a maximum center-to-center spacing of 150 feet on both sides of the fire lane or put an additional sign beneath the fire lane sign lettered as "both sides." Signs must be a type "R8-31" or equivalent reflective sign no less than 12" x 18" in size, with a white background and the wording **NO PARKING FIRE LANE** in red letters.

- curbing painted red with 3-inch minimum white lettering to read **NO PARKING FIRE LANE** at 50-foot intervals. Where no curb exists, stenciling shall be placed on pavement with minimum 10" white block lettering on continuous 16" red background to read: **NO PARKING FIRE LANE** at 50-foot intervals. See illustration below.

Before marking any new fire lanes, submit for the fire official's approval a plan which indicates

all fire lanes and proposed fire lane sign placements for the project site.

It is the property owner's responsibility to prevent the parking of vehicles or placement of other obstructions in such fire lanes.

Towing Notification
At each entrance to property where fire lanes have been designated, post in a clearly conspicuous location signs which indicate the name, telephone number, and address of the towing firm where the vehicle may be redeemed.

Violation – Civil Infraction
Any person who fails to make or maintain the markings of a designated fire lane or who parks a vehicle in, obstructs, or allows the obstruction of a designated fire lane commits a **civil infraction** to which the provisions of R.C.W.7.80 apply. The **penalty for parking** a vehicle in, allowing the parking of a vehicle in, or obstructing a designated fire lane is **\$100.00**.

Call 425.577.5656 to report fire lane violations.

Impoundment
Any vehicle or object obstructing a designated fire lane, whether on public or private property, is hereby declared a hazard and may be abated without prior notification to its owner by impoundment pursuant to the applicable state law.

For reference, see Bellevue City Code 23.11.503.

For additional clarification or information please contact the Fire Prevention Division of the Bellevue Fire Department at 425-452-6872.

Illustration



11235 s.e. 6th street | suite 150
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www.navixeng.com

CLIENT/OWNER

SAMBICA

PROJECT NAME

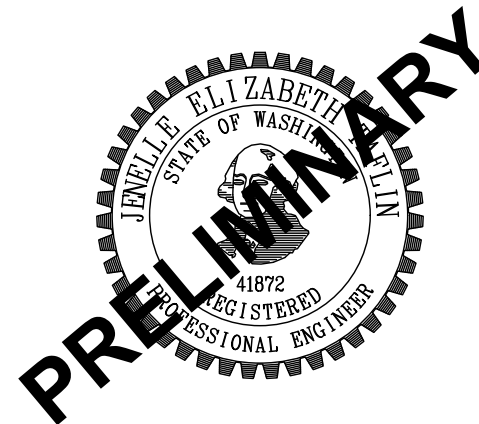
SAMBICA

NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

4114 W LAKE
SAMMAMISH PKWY SE
BELLEVUE, WA 98008

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SECTION, TOWNSHIP, RANGE:

NE 1/4 OF NE 1/4 SECTION 13,
TOWNSHIP 24 NORTH, RANGE 05
EAST, W.M.

PROJECT TEAM

REVIEWED BY: J.TAFLIN
DESIGNED BY: J.GREEN
T.PRUSA

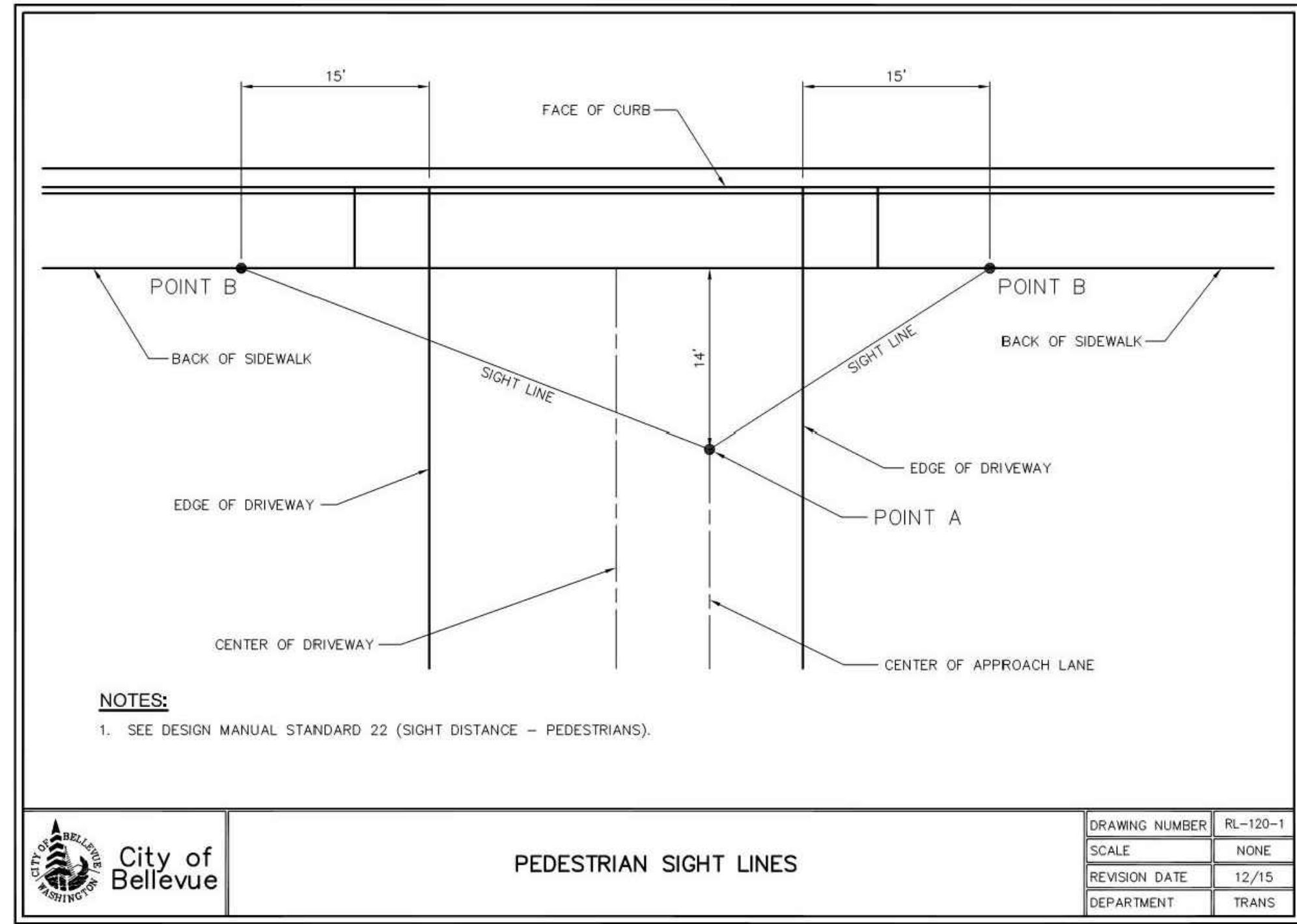
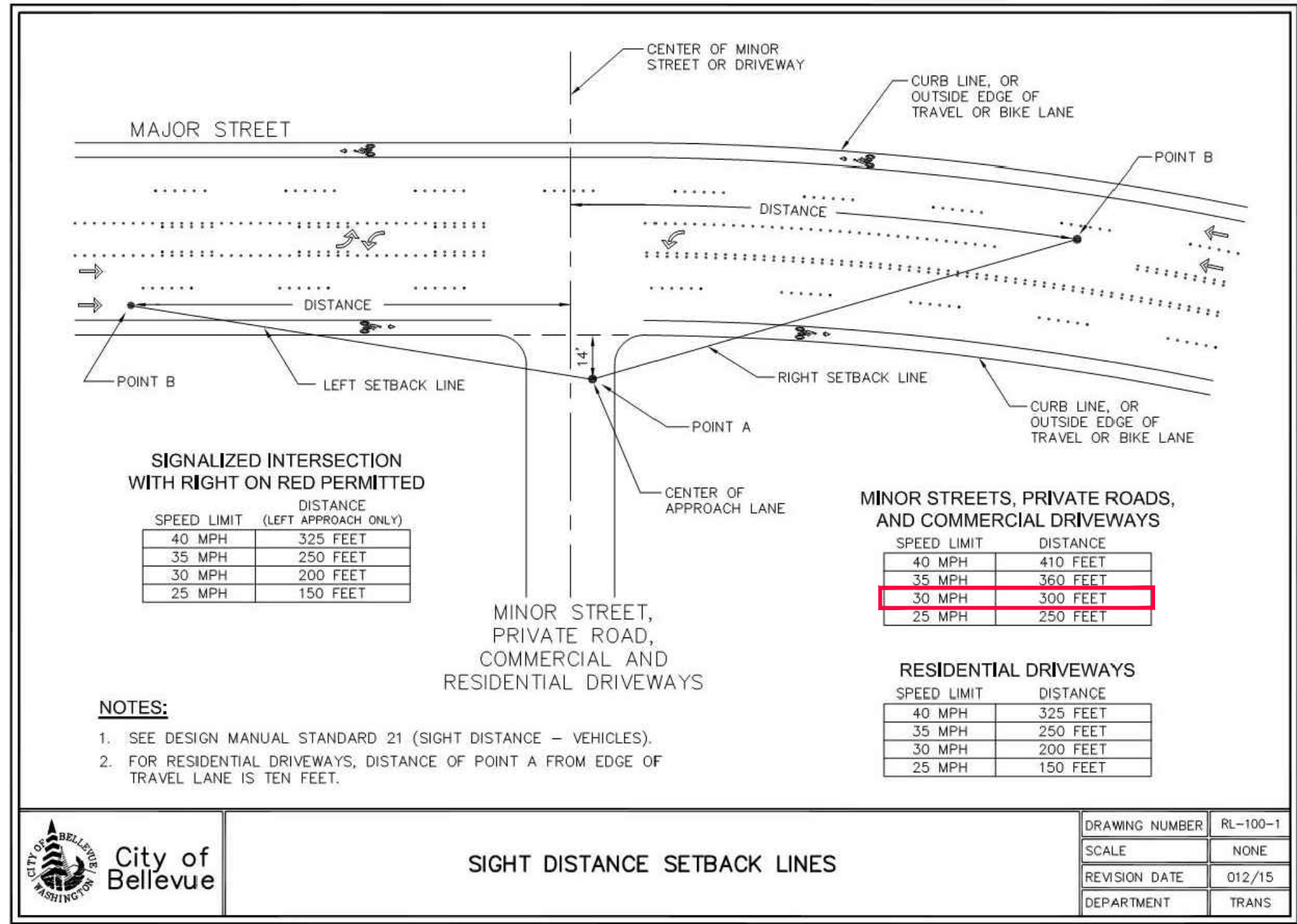
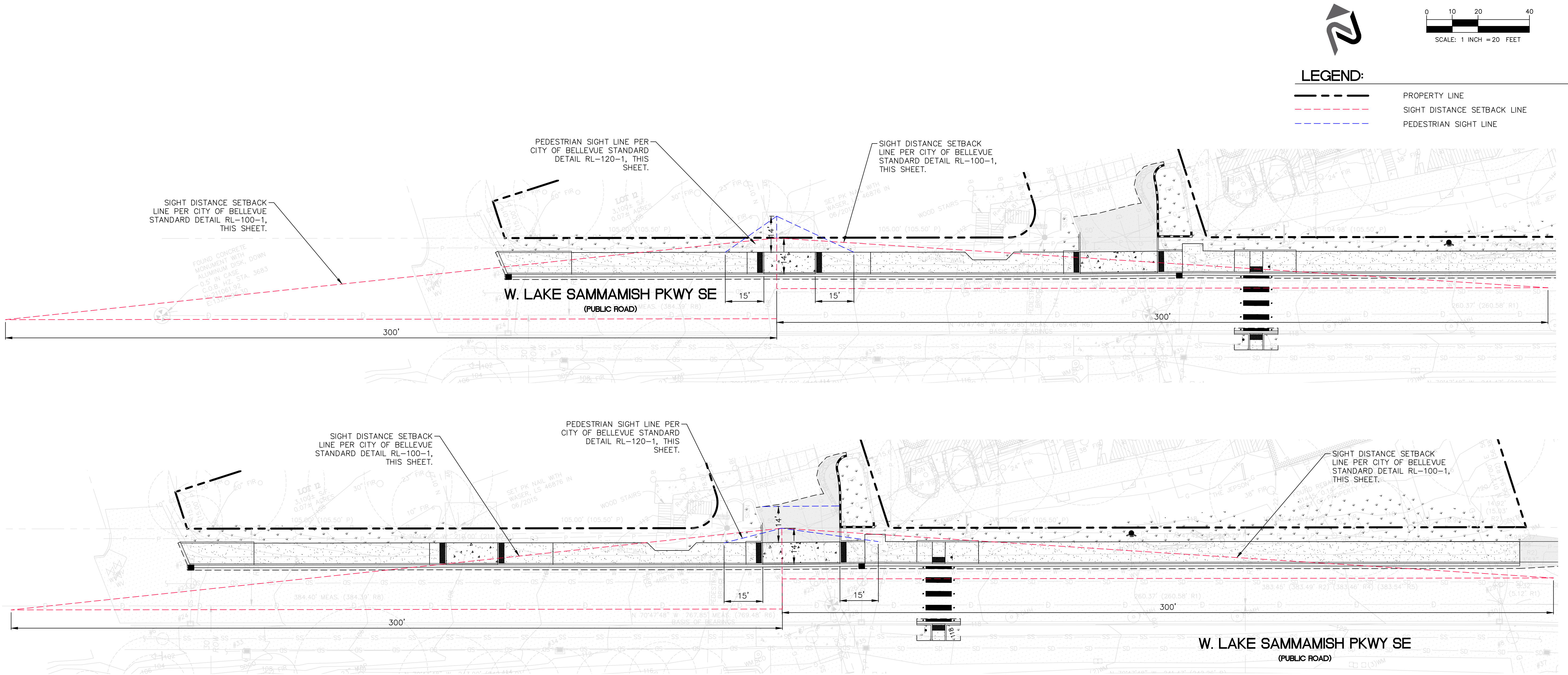
SHEET NAME

FIRE TRUCK
ROUTE

SHEET NUMBER

C-1.3

\\nav-bel-file\projects\Washington\Bellevue\Sambica\Drawings\BESB_1105_ADR and MDP.dwg Feb 26, 2020 - 5:17pm



LEGEND:

- PROPERTY LINE
- SIGHT DISTANCE SETBACK LINE
- PEDESTRIAN SIGHT LINE

0 10 20 40
SCALE: 1 INCH = 20 FEET

NAVIX
SITE | CIVIL

11235 s.e. 6th street | suite 150
bellevue, wa 98004
t: 425.453.9501 | f: 425-453-8208
www.navixeng.com

CLIENT/OWNER

SAMBICA

PROJECT NAME

SAMBICA

NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

4114 W LAKE
SAMMAMISH PKWY SE
BELLEVUE, WA 98008

STAMP



REVISIONS

REV	ISSUED FOR:	DATE
1	ADR AND MDP PLANS	03.27.18
2	ADR AND MDP PLANS	02.19.19
3	ADR AND MDP PLANS	10.25.19
4	ADR AND MDP PLANS	02.26.20



SECTION, TOWNSHIP, RANGE:

NE 1/4 OF NE 1/4 SECTION 13,
TOWNSHIP 24 NORTH, RANGE 05
EAST, W.M.

PROJECT TEAM

REVIEWED BY: J.TAFLIN
DESIGNED BY: J.GREEN
T.PRUSA

SHEET NAME

SIGHT DISTANCE
PLAN

SHEET NUMBER

C-1.4

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

4114 W Lake Sammamish Pkwy SE,
Bellevue, WA 98008

BUILDING MATERIALS & COLORS

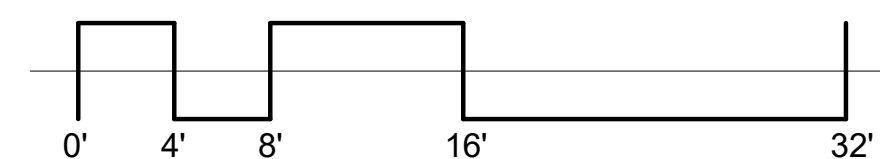
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PROJECT INFORMATION	
PROJECT NUMBER:	17027
PROJECT LEAD:	Designer
DRAWN BY:	Author

SHEET NO



Attachment B - Activities Building Elevations



**PRELIMINARY:
NOT FOR
CONSTRUCTION**

4114 W Lake Sammamish Pkwy SE,
Bellevue, WA 98008

BUILDING MATERIALS & COLORS

[illegible]

PROJECT INFORMATION	
PROJECT NUMBER:	17027
PROJECT LEAD:	DC
DRAWN BY:	MC

SHEET NO



SAMBICA MDP - PRELIMINARY BINDING SITE PLAN

